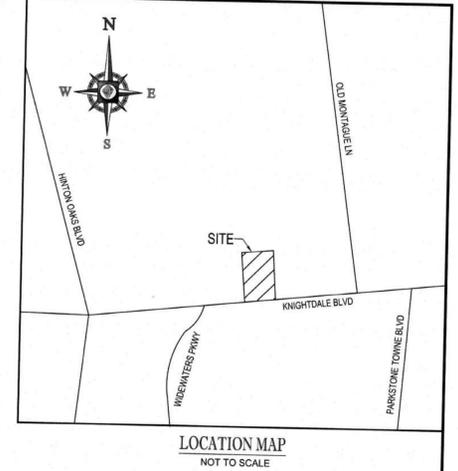
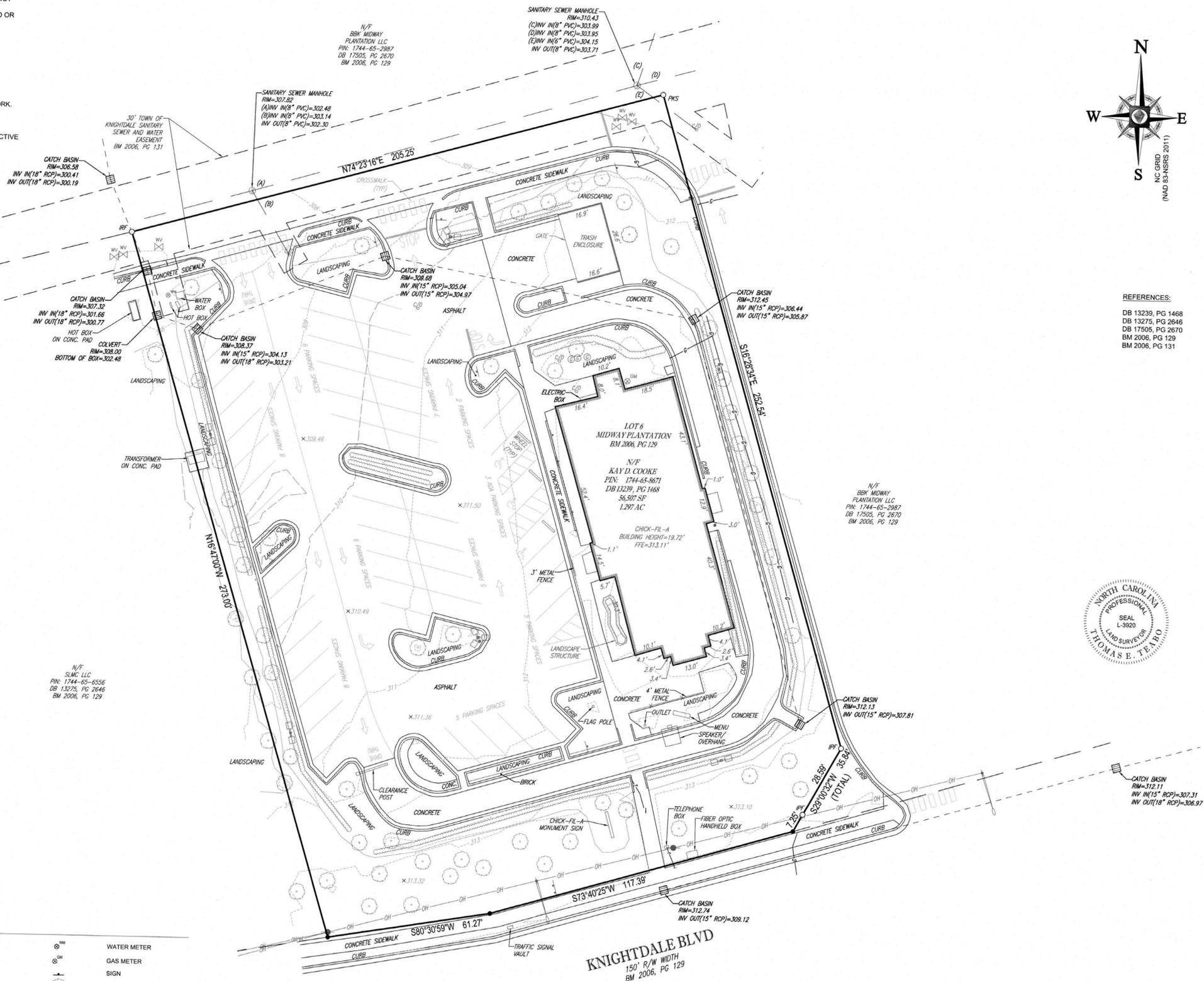


NOTES:

- 1) THE FIRM HAS NEITHER REVIEWED, NOR RELIED UPON A TITLE COMMITMENT OR ANY TITLE REPORT IN AND WHILE PREPARING THIS SURVEY AND THE CLIENT SHOULD NOT RELY UPON THIS SURVEY AS ASSURANCE OR OWNERSHIP, AS A GUARANTEE OF MARKETABLE TITLE OR FOR DISCLOSURE OF TITLE EXCEPTIONS THAT MAY, COULD OR DO ENCUMBER THE PROPERTY. THE CLIENT MUST ENGAGE A TITLE AGENT/TITLE INSURANCE COMPANY FOR REVIEW AND CONFIRMATION OF, AND INSURANCE REGARDING MARKETABLE TITLE.
- 2) AREAS COMPUTED BY COORDINATE METHOD.
- 3) PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
- 4) ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- 5) THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
- 6) RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD.
- 7) NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS, PRE THE NCVRS NETWORK.
- 8) BASIS OF BEARING SHOWN HEREON IS NAVD88.
- 9) VERTICAL DATUM SHOWN HEREON IS NAVD88.
- 10) THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720174400J, PANEL EFFECTIVE DATE MAY 2, 2006.



- REFERENCES:
- DB 13239, PG 1468
 - DB 13275, PG 2646
 - DB 17505, PG 2670
 - BM 2006, PG 129
 - BM 2006, PG 131

SURVEYOR CERTIFICATION

I, THOMAS E. TEARD, P.L.S., HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP, THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP.

THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF THE SURVEY AS CALCULATED IS 1:10,000; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD; THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21, CHAPTER 56, NCAC, AS AMENDED.

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: "CLASS A"
- (2) POSITIONAL ACCURACY: 0.04"
- (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS-NCVRS
- (4) DATES OF SURVEY: 11/13/19
- (5) DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.00
- (6) PUBLISHED/FIXED-CONTROL USE: NCVRS
- (7) GEOID MODEL: 2012 (CONUS)
- (8) COMBINED GRID FACTOR(S): 0.999908123
- (9) UNITS: US SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 26TH DAY OF NOVEMBER A.D., 2019.

PRELIMINARY - NOT FOR RECORDATION, SALES OR CONVEYANCES

SURVEYOR NC L-3920



LEGEND

| | | | |
|----------|---|---|------------------|
| — | LINE SURVEYED | ⊗ | WATER METER |
| - - - | LINE NOT SURVEYED | ⊕ | GAS METER |
| - - - | EXISTING CONTOUR | ⊙ | SIGN |
| x 123.45 | EXISTING SPOT ELEVATION | ⊗ | TREE |
| - - - | APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT | ● | BOLLARD |
| - - - | APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT | ⊗ | FENCE |
| ⊕ | WATER VALVE | ⊗ | AREA LIGHT |
| — | OVERHEAD WIRES | ⊗ | CLEAN OUT |
| - - - | APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT | ⊗ | BUSH ROW |
| - - - | APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT | ○ | IRON PIPE FOUND |
| ● | UTILITY POLE | ○ | IRON REBAR FOUND |
| ⊙ | SANITARY MANHOLE | ○ | PK NAIL SET |
| ⊙ | GREASE TRAP | ● | COMPUTED POINT |
| ⊕ | STORM DRAIN | | |

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: *Thomas E. Teard* Date: 8/15/2021
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: *D. Chadman* Date: 8/20/2021
Administrator

BOUNDARY & TOPOGRAPHIC SURVEY FOR

CHICK-FIL-A, INC.
PIN: 1744-65-8671
DB 13239, PG 1468
BM 2006, 129

TOWN OF KNIGHTDALE
ST. MATTHEWS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA

FILE NO. NSR191501

DATE 11/28/19

FIELD DATE 11/13/19

CREW CHIEF RJ

DRAWN DET

REVIEWED TET

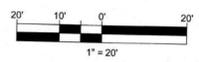
APPROVED TET

SCALE 1" = 20'

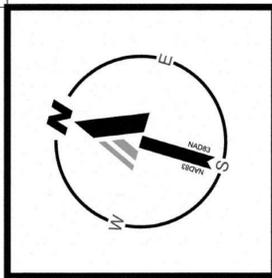
DWG. NO. 1 OF 1

BOHLER ENGINEERING NC, PLLC

4130 PARKLAKE AVENUE SUITE 130 RALEIGH, NORTH CAROLINA 27612 919.678.9000 • 919.703.2666 FAX



BOHLER ENGINEERING - ALL RIGHTS RESERVED. THE DRAWING OR RECORD OF THIS DOCUMENT OR PORTION THEREOF FOR OTHER THAN THE ORIGINAL PROJECTOR OR THE ENGINEER OR SURVEYOR WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING IS PROHIBITED.



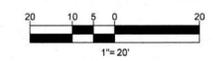
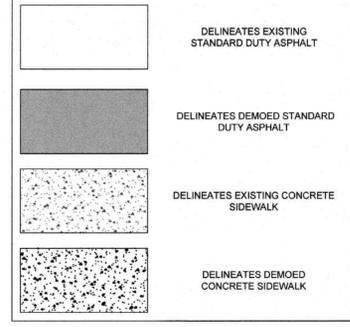
EXISTING CONDITIONS & DEMOLITION PLAN NOTES:

- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:
 BOHLER ENGINEERING NC, PLLC
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 DATED: 11/26/2019
 JOB # NSR192091
 ELEVATIONS: NAD 83
 CONTACT: TOM TEABO
 PHONE: (919) 578-9000
- OWNER:
 KAY D COOKE
 CHICK-FIL-A INC.
 5200 BUFFINGTON RD.
 ATLANTA, GA 30349-2945
- DEVELOPER:
 CHICK-FIL-A INC.
 5200 BUFFINGTON RD.
 ATLANTA, GA 30349-2945
 CONTACT: CHASE SHAW
 PHONE: (601) 668-0374
 EMAIL: CHASE.SHAW@CFACORP.COM
- EXISTING SITE INFORMATION:
 PARCEL ACREAGE: 1.30 AC
 PIN NUMBER: 1744-65-8671
 EXISTING ZONING: HB - HIGHWAY BUSINESS
 EXISTING LAND USE: DRIVE-THRU RESTAURANT

DEMOLITION KEY:

- EX. PAVEMENT MARKING TO BE REMOVED
- EX. CURB AND GUTTER TO BE REMOVED
- EX. LANDSCAPED AREA TO BE REMOVED
- LIMIT OF DISTURBANCE
- EX. SIDEWALK TO BE REMOVED
- EX. DIRECTIONAL ARROWS TO BE REMOVED
- EX. BUILDING TO BE DEMOED
- EX. SIGN TO BE REMOVED
- EX. BOLLARD TO BE REMOVED
- EX. ASPHALT TO BE REMOVED
- EX. GREASE TRAP TO BE REMOVED
- EX. MENU BOARD & CANOPY TO BE REMOVED
- EX. ELECTRICAL BOX TO BE REMOVED
- EX. LIGHT TO BE RELOCATED
- EX. GAS METER TO BE REMOVED
- EX. TRASH ENCLOSURE TO BE REMOVED
- EX. CLEARANCE POST TO BE REMOVED
- EX. CONCRETE TO BE REMOVED
- EX. CLEANOUT TO BE REMOVED
- EX. 4" SEWER LINE TO BE REMOVED. LINE SHOWN SHOWS APPROXIMATE LOCATION OF 4" SERVICE PER APPROVED PLANS BY G. ROBERT GEORGE & ASSOCIATES, INC. DATED 6/16/2006
- EX. GATE TO BE REMOVED
- EX. WHEEL STOP TO BE REMOVED
- EX. BRICK TO BE REMOVED
- TREE PROTECTION FENCE
- EX. CROSSWALK TO BE REPAINTED
- EX. WHEEL STOP TO BE REPLACED
- EX. LIGHT TO BE REPLACED
- SILT FENCE
- INLET PROTECTION

PAVEMENT LEGEND

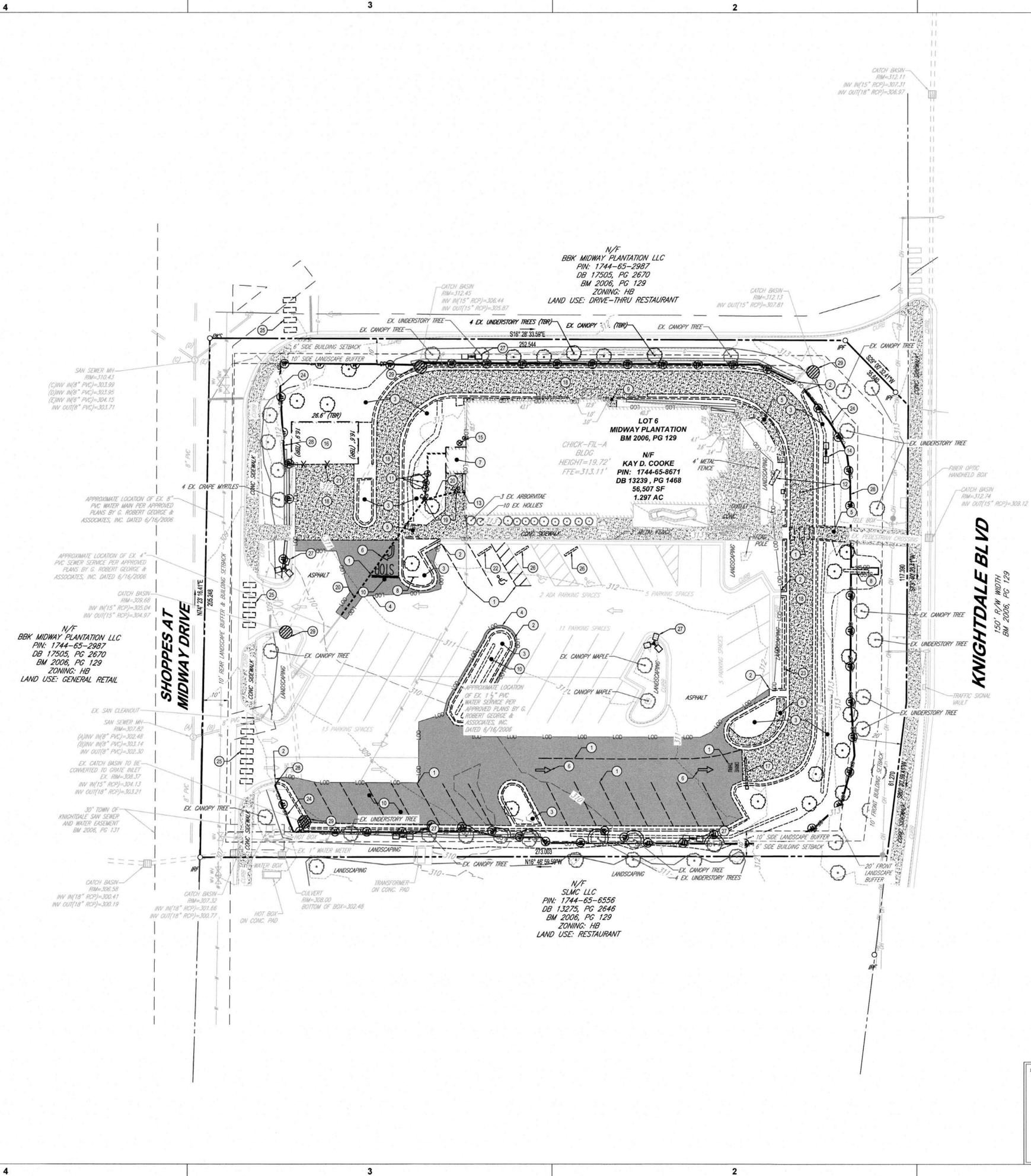


a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: [Signature] Date: 8/13/2021
 Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: [Signature] Date: 8/20/2021
 Administrator



Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



BOHLER
 BOHLER ENGINEERING NC, PLLC
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 NC@BohlerEng.com



CHICK-FIL-A
 KNIGHTDALE BLVD. REMODEL
 6711 KNIGHTDALE BLVD.
 KNIGHTDALE, NC 27545
 FSU#1760

REVISION SCHEDULE

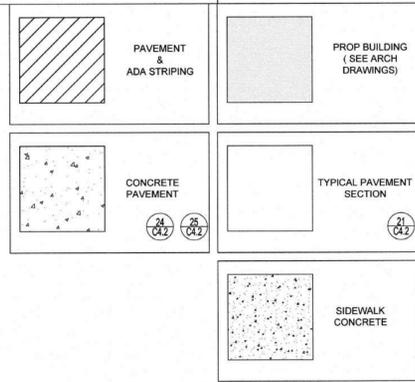
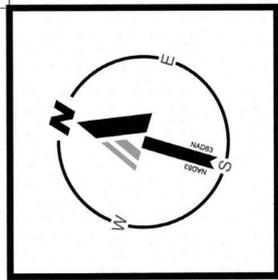
| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

CONSULTANT PROJECT # NCR191501
 PRINTED FOR CONSTRUCTION
 DATE 5/18/21
 DRAWN BY RMG

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SHEET EXISTING CONDITIONS & DEMOLITION PLAN
 SHEET NUMBER

C-2.0

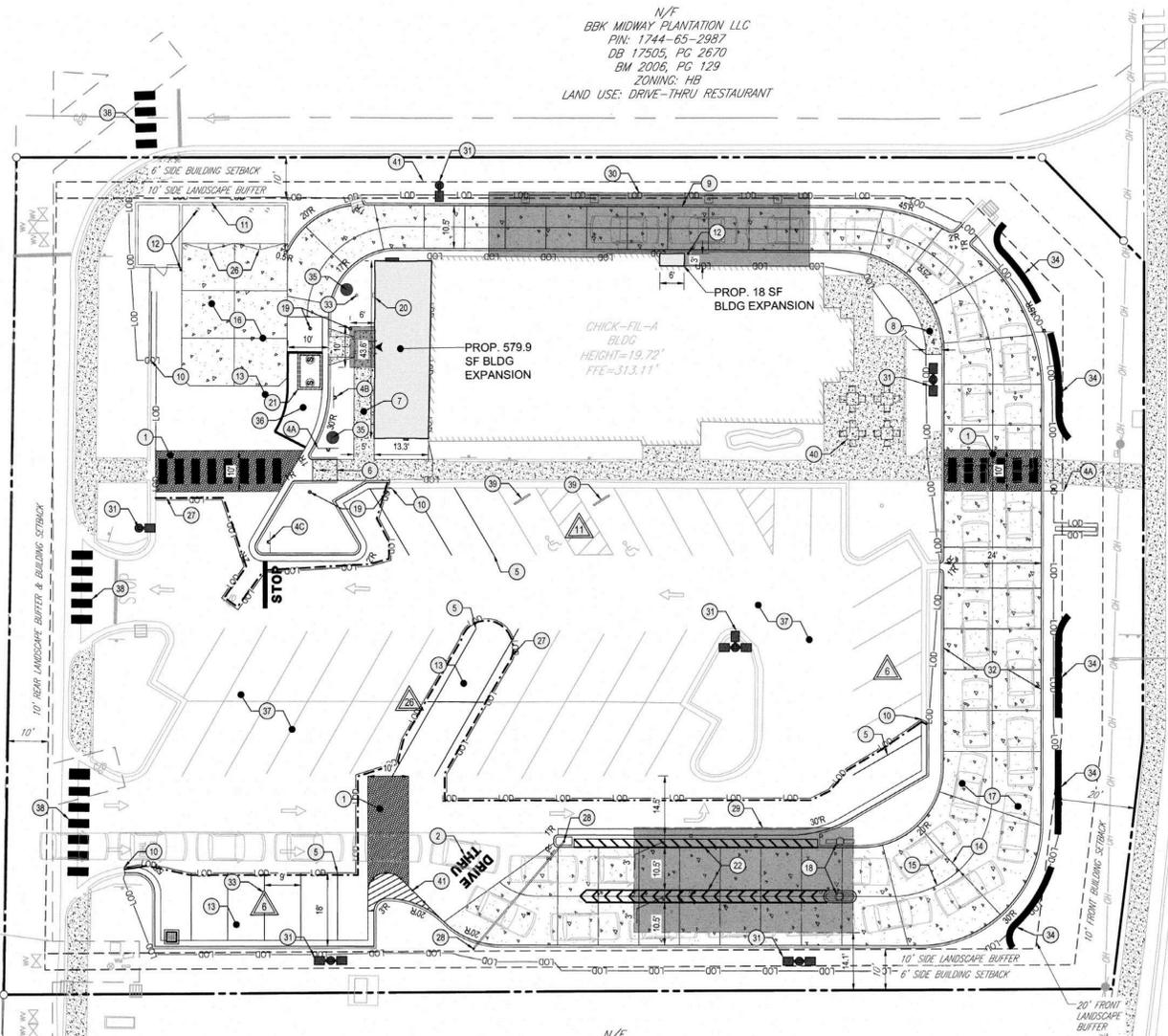


SITE PLAN & ZONING NOTES:

- SITE ADDRESS: 6711 KNIGHTDALE BLVD
KNIGHTDALE, NC 27545
- OWNER: CHICK-FIL-A INC
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
PHONE: (501) 658-0374
- PIN: 1744-65-8671
WAKE COUNTY, NORTH CAROLINA
- ACREAGE: SITE: 1.30 AC
AREA OF DISTURBANCE: 0.48 AC
EXISTING IMPERVIOUS: 0.90 AC
PROPOSED IMPERVIOUS: 1.02 AC
- ZONING: EXISTING ZONING: HB
APPROVED ZONING: HB-CD
- LAND USE: EXISTING LAND USE: DRIVE-THRU RESTAURANT
PROPOSED LAND USE: DRIVE-THRU RESTAURANT
- PARKING: EXISTING BUILDING SF: 4,371 SF
PROPOSED BUILDING SF: 4,968.9 SF
MAXIMUM PARKING ALLOWED: 15.0 PER KSF GFA
(4,968.9 SF / 1000 SF) = 4.97 * 15 = 75 SPACES
MINIMUM PARKING REQUIRED: MAXIMUM = 75 SPACES / 2 = 38 SPACES
EXISTING PARKING: 55 SPACES
PROPOSED PARKING: 49 SPACES

SITE PLAN DESIGN NOTES & KEY PLAN

- PAVEMENT TREATMENT AREA
- DRIVE-THRU GRAPHICS
- PAINTED HANDICAP PARKING SYMBOL
- DIRECTIONAL SIGNAGE
ALL SIGNS SHALL CONFORM TO SIGNAGE PLAN. PLANS TO BE PROVIDED ONCE FINALIZED
4A "CAUTION - WATCH FOR PEDESTRIANS" SIGN
4B "DRIVE-THRU MEAL DELIVERY ZONE" SIGN
4C "STOP" SIGN
- STANDARD PARKING STALL
- RETURNED CURB HANDICAP RAMP
- TYPICAL CONCRETE SIDEWALK
- SIDEWALK w/ CURB & GUTTER
- CURB SECTION AT DRIVE-THRU WINDOW
- 24" CURB AND GUTTER - TOWN OF KNIGHTDALE DETAIL 4.01
- REFUSE ENCLOSURE FOUNDATION
- BOLLARD
- TYPICAL PAVEMENT SECTION
- TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- TRANSVERSE & LONGITUDINAL DOWELED CONST. JOINT
- CONCRETE APRON @ TRASH ENCLOSURE
- CONCRETE PAVING @ DRIVE THRU LANE
- MENU BOARD & CANOPY ORDERING STATION
- SANITARY CLEANOUT
- ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
- GREASE TRAP (REFER TO BUILDING PLAN FOR MORE DETAIL)
- 4" WIDE WHITE STRIPE
- GENERAL NOTE: THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL, SAFETY BARRICADES, LIGHTING, AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ASSURE PUBLIC SAFETY.
- GENERAL NOTE: INSTALL EXPANSION JOINT BETWEEN ALL CONCRETE PAVEMENT INTERFACE WITH BUILDINGS, CURB & GUTTER, AND OTHER CONSTRAINED OBJECTS.
- GENERAL NOTE: SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING, CANOPY, AND THE LOCATION OF DOORWAYS, UTILITIES, ETC.
- GATES TO BE INSTALLED BY BUILDING CONTRACTOR WITH DUMPSTER STRUCTURE. COORDINATE WITH PAVEMENT INSTALLATION.
- SAWCUT LINE
- CLEARANCE BAR
- TIER 3 FACE TO FACE ORDER CANOPY (CONTRACTOR TO REFER TO BUILDING PLANS FOR EXACT DIMENSIONS)
- TIER 3 OUTSIDE MEAL DELIVERY CANOPY
- LIGHT TO REPLACE EXISTING
- HEADER CURB
- STORM CLEANOUT
- ACCENT WALL
- TRASH CAN. ALL EXISTING TRASH CANS ON SITE TO BE REPLACED.
- 10'X20' DRIVE-THRU MEAL DELIVERY SPACE
- ENTIRE PARKING LOT TO BE MILLED AND OVERLAID
- REPAINTED CROSSWALK
- WHEEL STOP
- PATIO SEATING TO REPLACE EXISTING
- FLEXIBLE TRAFFIC DELINEATOR POST (TYP. OF 5)



N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-65-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: GENERAL RETAIL

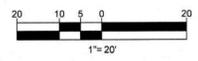
N/F
SLMC LLC
PIN: 1744-65-6556
DB 13275, PG 2646
BM 2006, PG 129
ZONING: HB
LAND USE: RESTAURANT

N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-65-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: DRIVE-THRU RESTAURANT

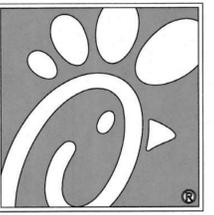
KNIGHTDALE BLVD
150' R/W WIDTH
BM 2006, PG 129

SHOPPES AT
MIDWAY DRIVE

30' TOWN OF
KNIGHTDALE SAN SEWER
AND WATER EASEMENT
BM 2006, PG 131



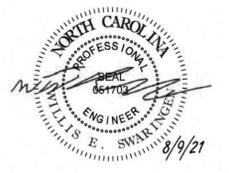
a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: [Signature] Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: [Signature] Date: 8/12/2021
Administrator



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



BOHLER//
BOHLER ENGINEERING NC, PLLC
4130 PARK LAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com



CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

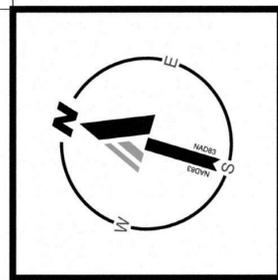
CONSULTANT PROJECT # NCR191501
PRINTED FOR CONSTRUCTION
DATE 5/18/21
DRAWN BY RMG

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SHEET SITE PLAN

SHEET NUMBER

C-3.0



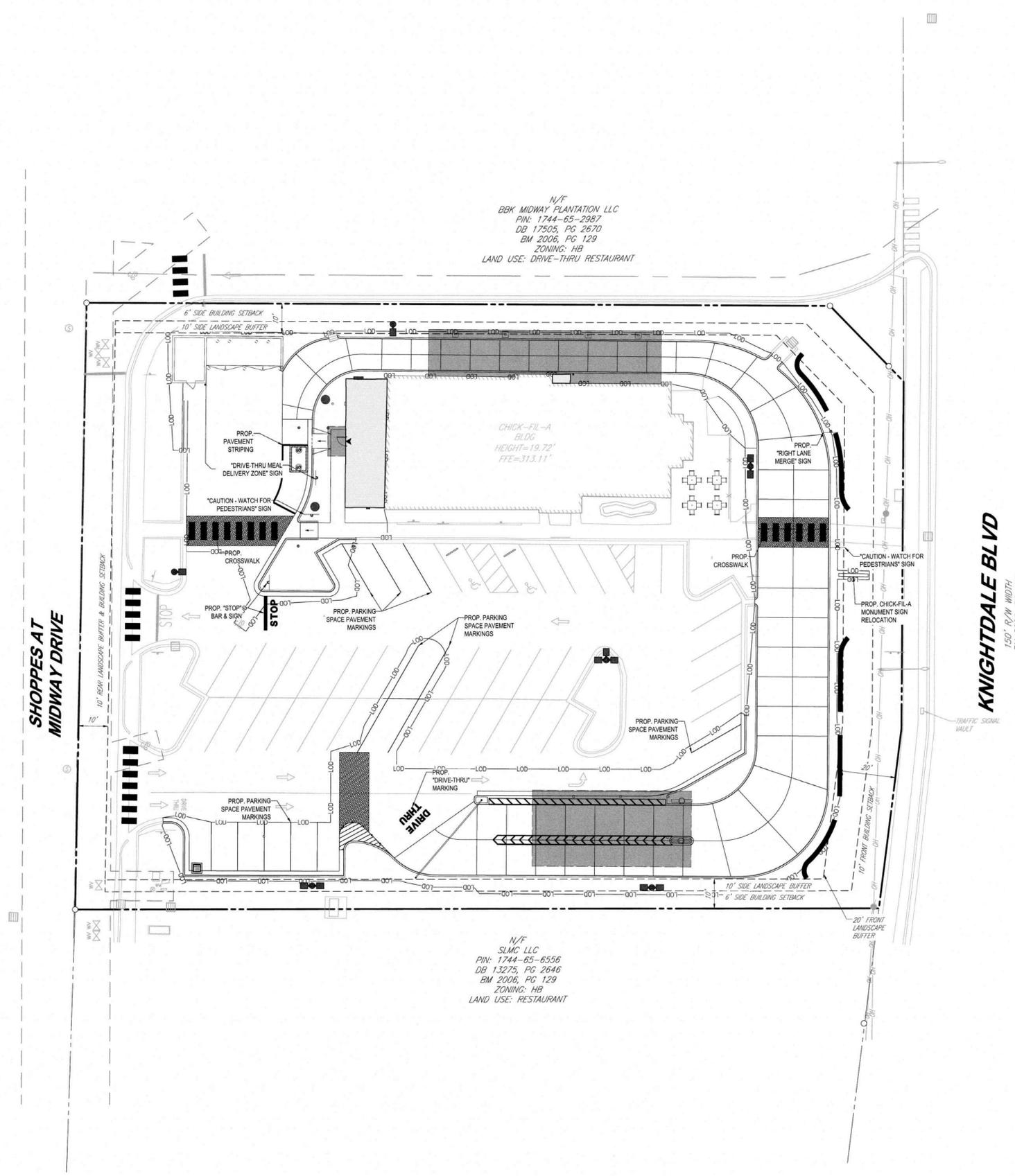
SIGNAGE & STRIPING PLAN DESIGN NOTES

A. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC EXCEPT PARKING STALL STRIPING WHICH SHALL BE PAINTED.

N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-05-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: GENERAL RETAIL

N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-05-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: DRIVE-THRU RESTAURANT

N/F
SLMG LLC
PIN: 1744-05-6556
DB 13275, PG 2646
BM 2006, PG 129
ZONING: HB
LAND USE: RESTAURANT



KNIGHTDALE BLVD
150' R/W IN WIDTH
BM 2006, PG 129

SHOPPES AT MIDWAY DRIVE



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



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BOHLER ENGINEERING NC, PLLC
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com



CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

CONSTRUCTION DOCUMENTS

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

CONSULTANT PROJECT # NCR191501
PRINTED FOR CONSTRUCTION
DATE 5/18/21
DRAWN BY RMG

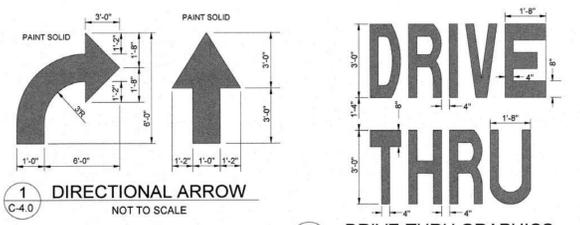
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SHEET SIGNAGE & STRIPING PLAN

SHEET NUMBER

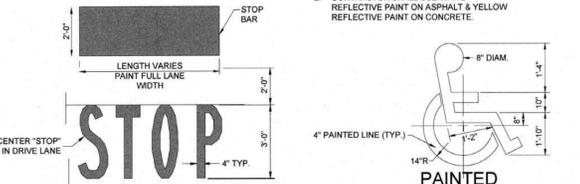
a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: SMH Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale for the construction plans for this project.
By: D. Goodman Date: 8/20/2021
Administrator

C-3.1



1 DIRECTIONAL ARROW
C-4.0 NOT TO SCALE

2 DRIVE-THRU GRAPHICS
C-4.0 NOT TO SCALE

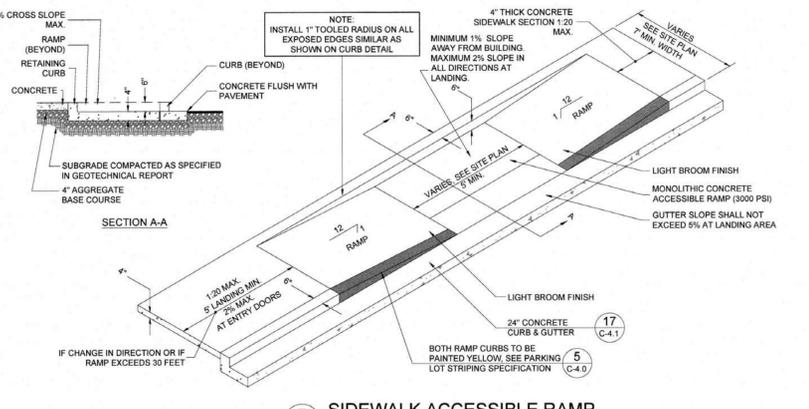


3 STOP LINE GRAPHIC
C-4.0 NOT TO SCALE

4 ACCESSIBILITY SYMBOL
C-4.0 NOT TO SCALE

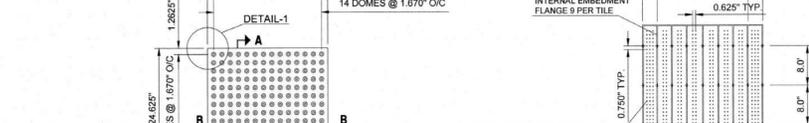
NOTES:

- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL SPECIFICATIONS. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL SPECIFICATIONS. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.
- IF STOP SIGN IS PROPOSED, STOP LINE GRAPHIC IS NOT REQUIRED.



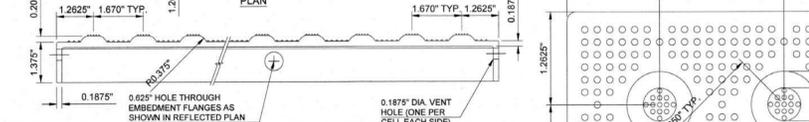
5 STANDARD PARKING STALL
C-4.0 NOT TO SCALE

7 SIDEWALK ACCESSIBLE RAMP
C-4.0 NOT TO SCALE

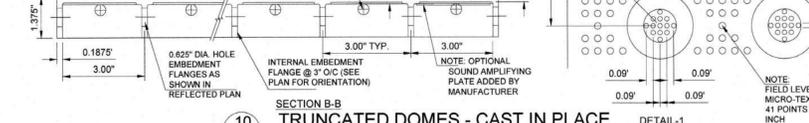


8 CURB RAMP w/ FLARED SIDES
C-4.0 NOT TO SCALE

8A CURB RAMP w/ SHORT FLARED SIDES
C-4.0 NOT TO SCALE



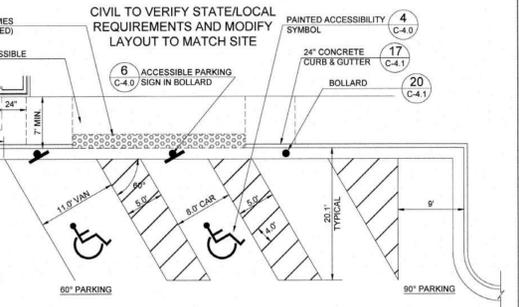
9 RETURNED CURB ACCESSIBLE RAMP
C-4.0 NOT TO SCALE



11 TYPICAL CONCRETE SIDEWALK
C-4.0 NOT TO SCALE

NOTES:

- CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN 1:12 AND CROSS SLOPE SHALL BE 2% OR FLATTER.
- DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING PRODUCTS CONFORMING TO PROWAG R304. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS. CONTRACTOR SHALL CONFIRM LOCAL CODES ARE MET.
- WHERE A CURB RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB & GUTTER AND/OR SIDEWALK, THE EXISTING CURB & GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB & GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
- THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT OR LIGHT-ON-DARK. STANDARD DOME COLOR IS BRICK RED.
- TRUNCATED DOMES TO BE INSTALLED USING ARMOR TILE CAST IN PLACE DOME TILE TILE. PART NUMBER ADA-2424 OR OTHER EQUIVALENT APPROVED MATERIAL. PREFERRED MANUFACTURER ARMOR TILE TACTILE SYSTEMS LANCE MITCHELL (019)922-4615 UNLESS PAVED ARE REQUIRED, CONTRACTOR TO VERIFY THAT CURB RAMPS MEET LOCAL CODES AND ADA REQUIREMENTS.



CIVIL TO VERIFY STATE/LOCAL REQUIREMENTS AND MODIFY LAYOUT TO MATCH SITE

NOTES:

- ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1:50 IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESSIBLE ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
- PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS AND IF DIFFERENT THAN THIS DETAIL SHALL BE THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS.
- CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
- CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
- NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
- ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.

STANDARDS:

- ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS. SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE OR PEELING PAINT. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.
- APPLY SHERWIN-WILLIAMS SETFAST PREMIUM ALKYLID ZONE MARKING PAINT A330 WHITE OR A330 YELLOW USING EITHER AIRLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE. ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION.

CONVENTIONAL:

- GUN
- FLUID NOZZLE
- AIR NOZZLE
- ATOMIZATION PRESSURE
- FLUID PRESSURE
- REDUCTION

1800-2700 PSI
1/2" ID
0.015"-0.017"
60 MESH
ONLY IF NECESSARY, UP TO 1PT/GAL VMMP NAPHTHA R1K3

CONVENTIONAL:

- GUN
- FLUID NOZZLE
- AIR NOZZLE
- ATOMIZATION PRESSURE
- FLUID PRESSURE
- REDUCTION

1800-2700 PSI
1/2" ID
0.015"-0.017"
60 MESH
ONLY IF NECESSARY, UP TO 1PT/GAL VMMP NAPHTHA R1K3

MIX PAINT THOROUGHLY BY BOXING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 15 MILS WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON. APPLIED AT THIS RATE AT 70 DEGREES F AND 50% RELATIVE HUMIDITY. PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.

GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.



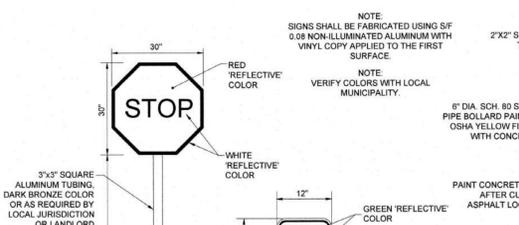
CIVIL TO VERIFY RAMP REQUIREMENTS BY STATE.



11 TYPICAL CONCRETE SIDEWALK
C-4.0 NOT TO SCALE

NOTES:

- JUNTS AT 5'-0" O.C. TOoled 1/2" DEEP OR MAX 3/4" DEEP WHICHEVER IS GREATER. EXPANSION JUNTS AT 20' MAX. ALL P.C. & UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.



STOP SIGN & STANDARD MOUNTING POST (MUTCD R 1-1)

ACCESSIBLE PARKING SIGN (MUTCD R 7-8 AND R 7-8P5)

CIVIL TO VERIFY SIGN PANELS AND COLORS WITH STATE/LOCAL REQUIREMENTS)

NOTES:

- SIGNS SHALL BE FABRICATED USING SF 0.08 NON-ILLUMINATED ALUMINUM WITH VINYL COPY APPLIED TO THE FIRST SURFACE.
- VERIFY COLORS WITH LOCAL MUNICIPALITY.



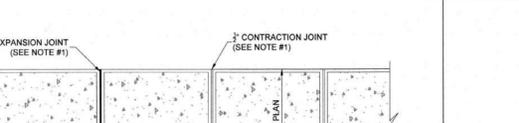
BOLLARD MOUNTED SIGN DETAIL



DIRECTIONAL SIGNAGE
C-4.0 NOT TO SCALE

NOTES:

- SIGNS DETAIL AND INSTALLED BY CFA SIGNAGE CONTRACTOR.



9 RETURNED CURB ACCESSIBLE RAMP
C-4.0 NOT TO SCALE



11 TYPICAL CONCRETE SIDEWALK
C-4.0 NOT TO SCALE

NOTES:

- JUNTS AT 5'-0" O.C. TOoled 1/2" DEEP OR MAX 3/4" DEEP WHICHEVER IS GREATER. EXPANSION JUNTS AT 20' MAX. ALL P.C. & UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.



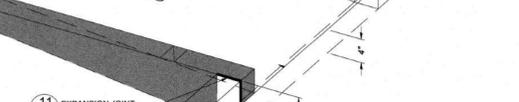
DIRECTIONAL SIGNAGE
C-4.0 NOT TO SCALE

NOTES:

- SIGNS DETAIL AND INSTALLED BY CFA SIGNAGE CONTRACTOR.



9 RETURNED CURB ACCESSIBLE RAMP
C-4.0 NOT TO SCALE



11 TYPICAL CONCRETE SIDEWALK
C-4.0 NOT TO SCALE

NOTES:

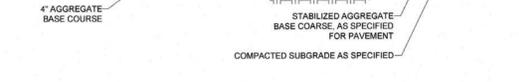
- JUNTS AT 5'-0" O.C. TOoled 1/2" DEEP OR MAX 3/4" DEEP WHICHEVER IS GREATER. EXPANSION JUNTS AT 20' MAX. ALL P.C. & UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.



12 SIDEWALK WITH CURB & GUTTER SECTION
C-4.0 NOT TO SCALE

NOTES:

- SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCEWAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.



11 TYPICAL CONCRETE SIDEWALK
C-4.0 NOT TO SCALE

NOTES:

- JUNTS AT 5'-0" O.C. TOoled 1/2" DEEP OR MAX 3/4" DEEP WHICHEVER IS GREATER. EXPANSION JUNTS AT 20' MAX. ALL P.C. & UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

CONSTRUCTION DOCUMENTS



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

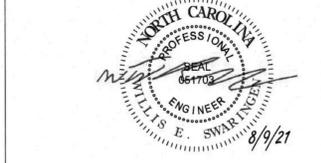
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BOHLER ENGINEERING NC, PLLC
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

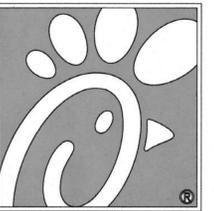
REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760



CONSTRUCTION DOCUMENTS



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



BOHLER
BOHLER ENGINEERING NC, PLLC
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com



CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

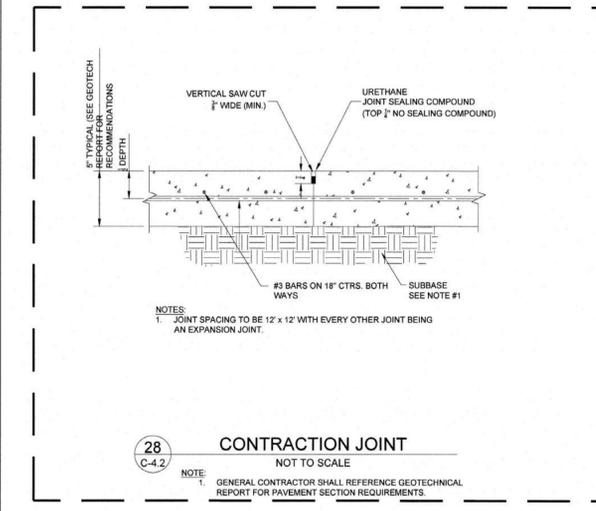
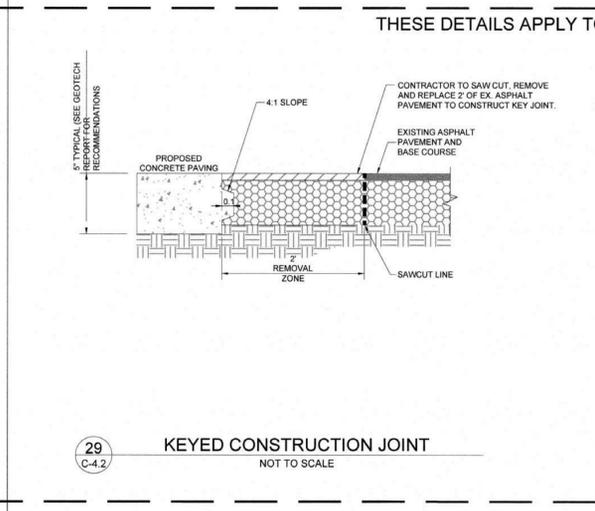
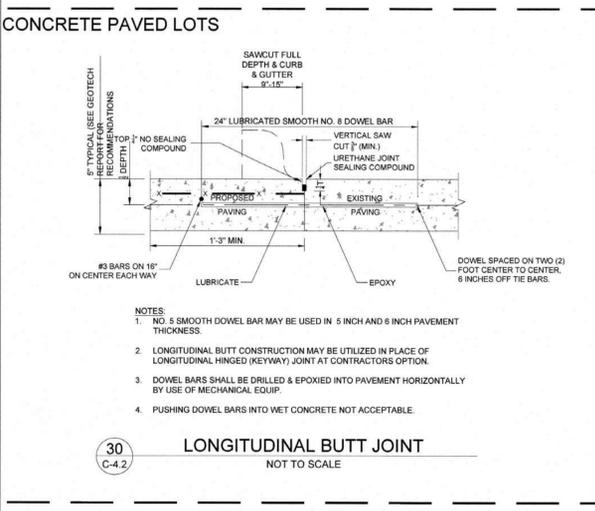
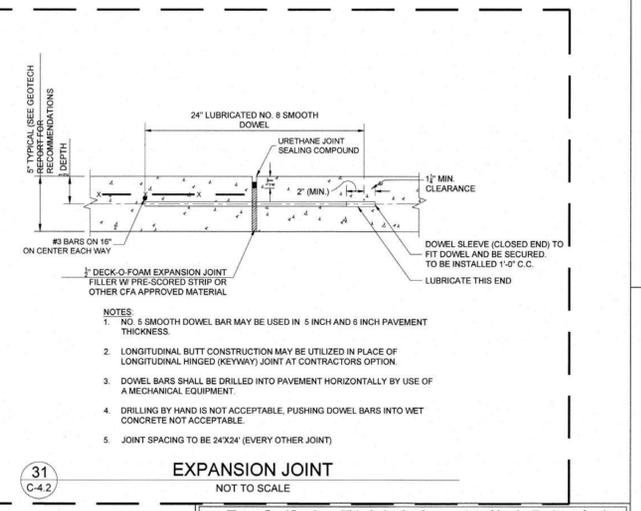
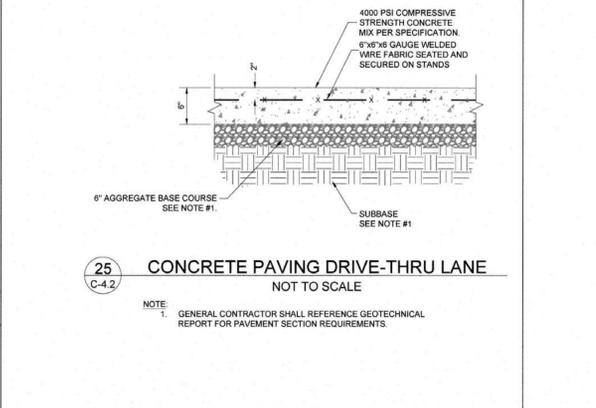
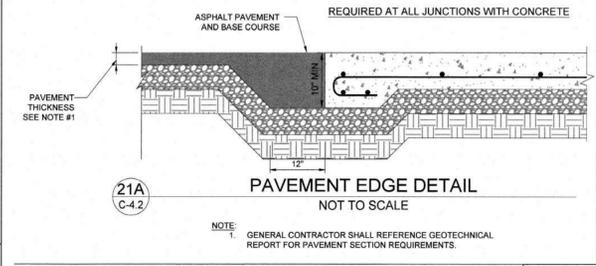
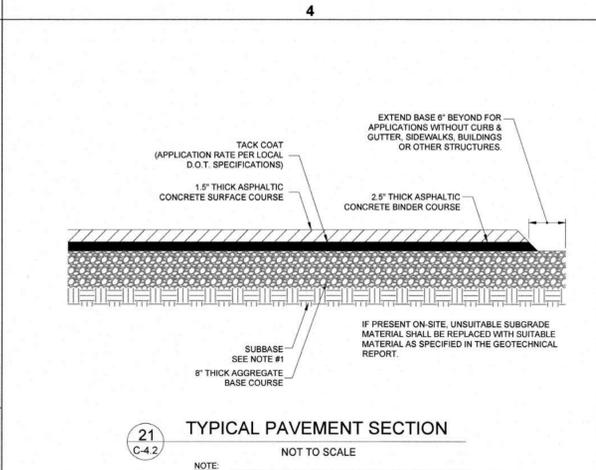
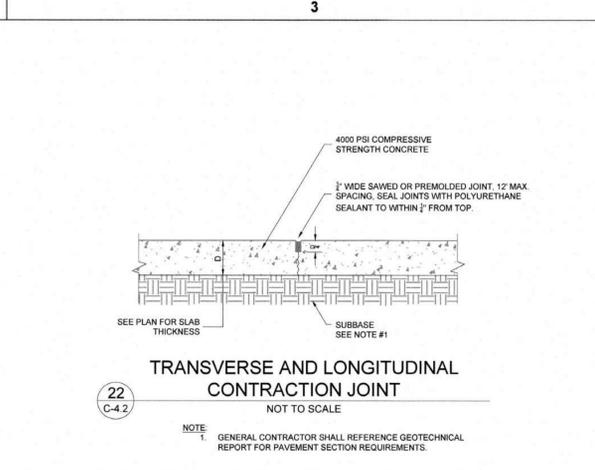
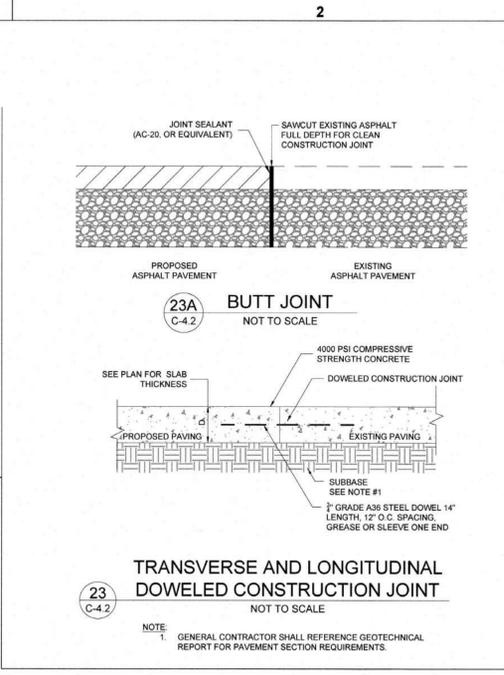
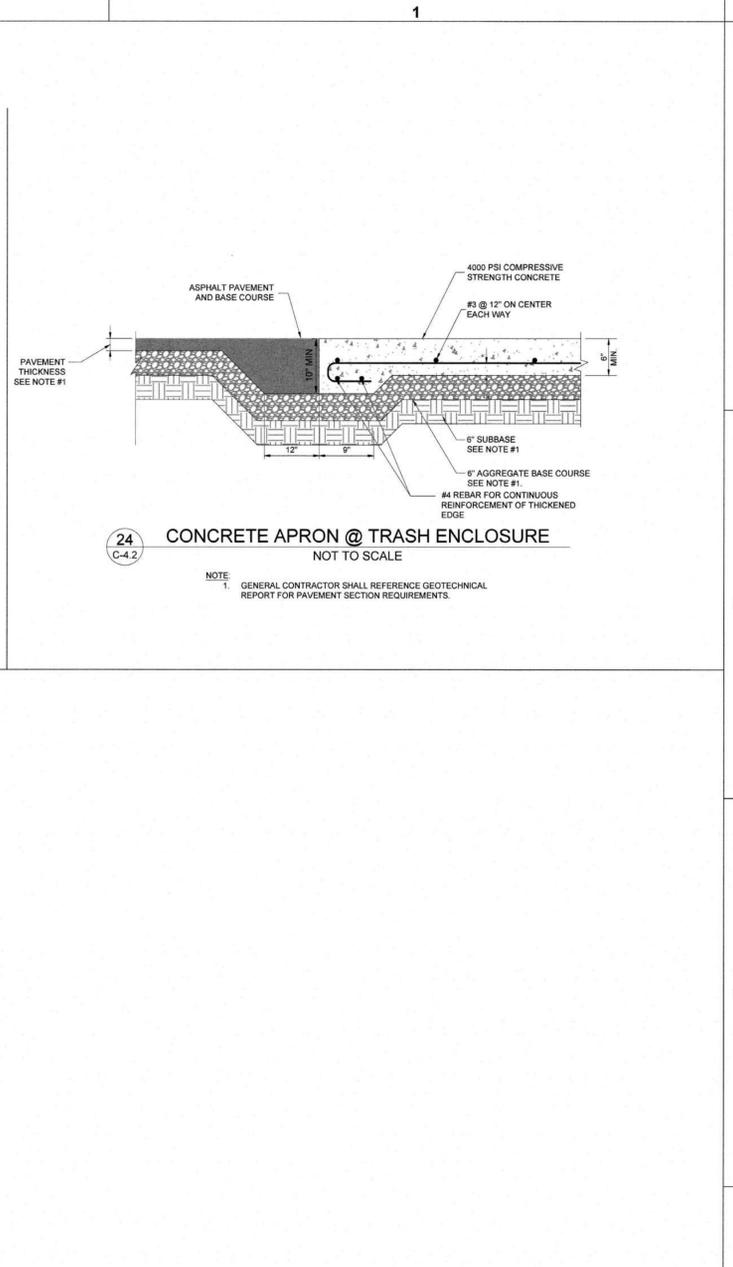
REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
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| 4 | 8-9-2021 | SIGNATURE SET |

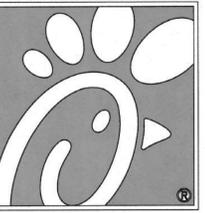
CONSULTANT PROJECT # NCR191501
PRINTED FOR CONSTRUCTION
DATE 5/18/21
DRAWN BY RMG

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SHEET CFA STANDARD DETAILS

SHEET NUMBER
C-4.2



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: S. Smith Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: D. Goodman Date: 8/20/2021
Administrator



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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NC@BohlerEng.com



CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

REVISION SCHEDULE

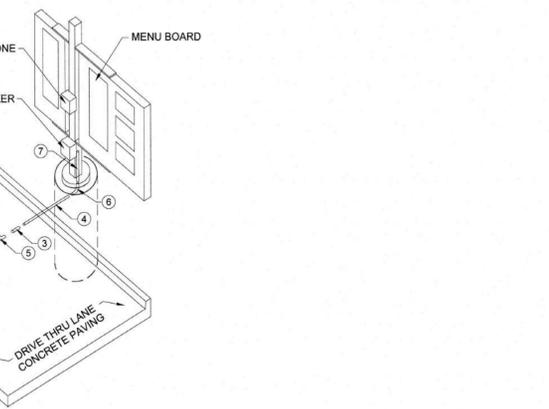
| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

CONSULTANT PROJECT # NCR191501
PRINTED FOR CONSTRUCTION
DATE 5/18/21
DRAWN BY RMG

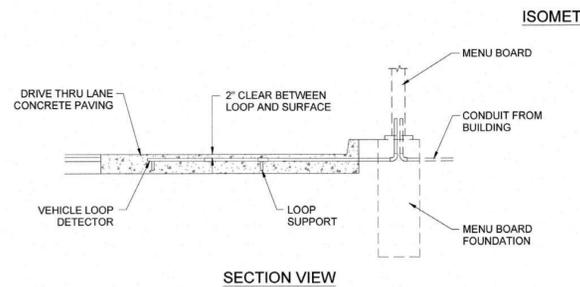
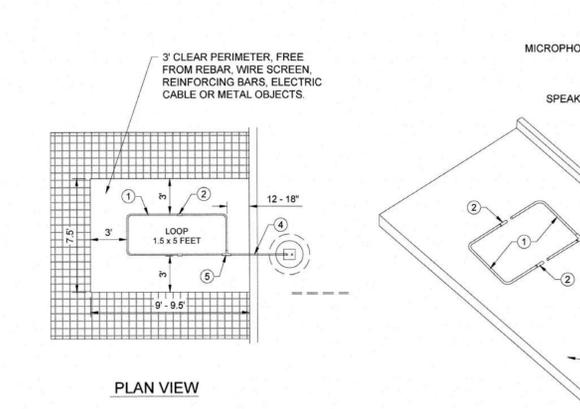
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SHEET CFA STANDARD DETAILS

SHEET NUMBER
C-4.3

CONSTRUCTION DOCUMENTS

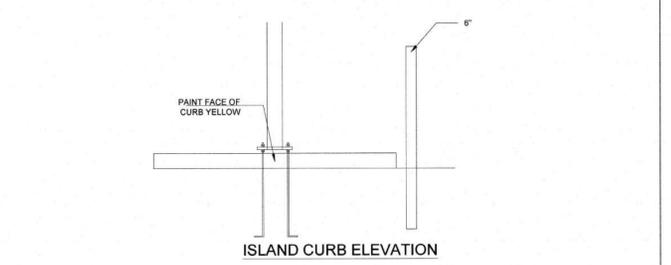
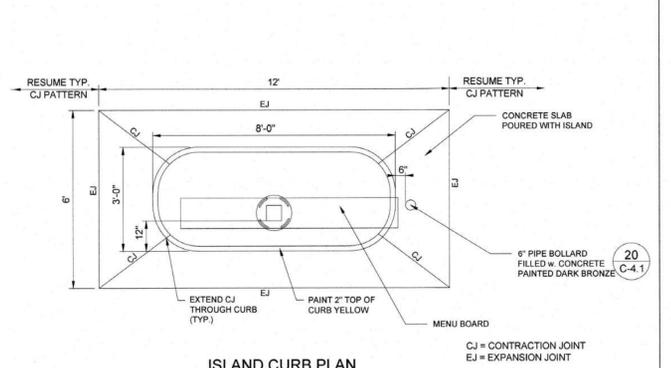


- PARTS LIST**
- 1 PREFAB (FOLDED) LOOP (1.5' x 5')
 - 2 1/2" PVC COUPLING
 - 3 1/2" PVC SLEEVE COUPLING
 - 4 1/2" PVC TUBING (3' LENGTH)
 - 5 1/2" PVC CORNER FITTING
 - 6 1/2" PVC 90° ELBOW
 - 7 1/2" PVC TUBING (2' LENGTH)

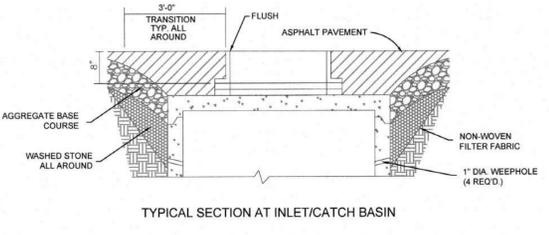
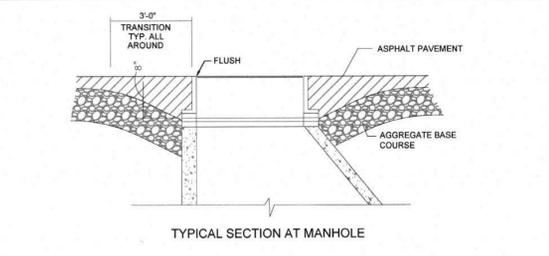


35 MENU BOARD LOOP DETECTION SYSTEM
NOT TO SCALE

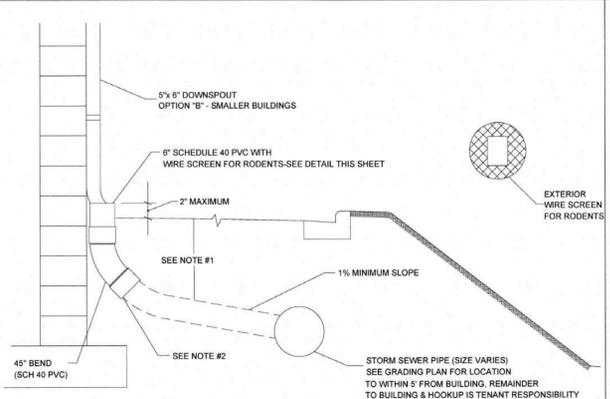
NOTES:
1. LOOP DETECTOR IS MODEL NO. VDL-100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
2. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.



34 DRIVE THRU ORDER POINT ISLAND CURB
NOT TO SCALE

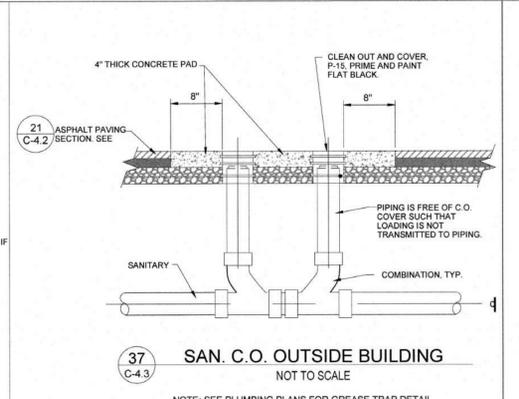


39 TYPICAL SECTION AT INLET/CATCH BASIN DETAIL
NOT TO SCALE



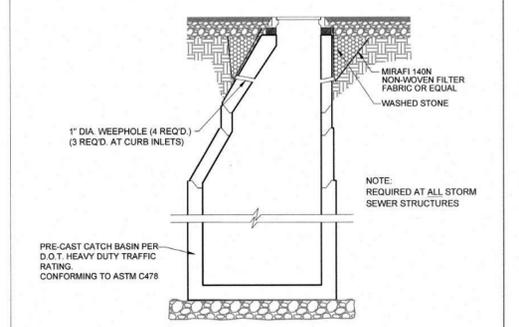
38 BUILDING DOWNSPOUT CONNECTION DETAIL
NOT TO SCALE

NOTES:
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.



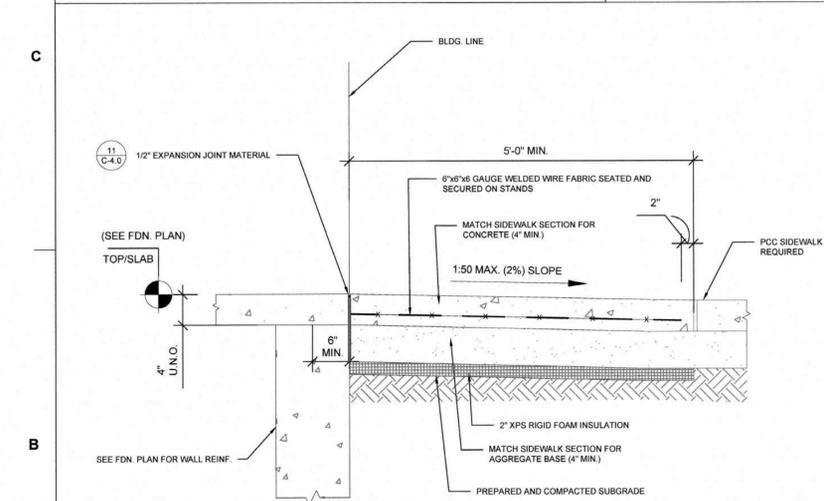
37 SAN. C.O. OUTSIDE BUILDING
NOT TO SCALE

NOTE: SEE PLUMBING PLANS FOR GREASE TRAP DETAIL.



40 STORM WEEP HOLE DETAIL
NOT TO SCALE

NOTE: REQUIRED AT ALL STORM SEWER STRUCTURES.



36 ENTRY DOOR FROST SLAB DETAIL
NOT TO SCALE

NOTE:
1. CONTRACTOR HAS THE OPTION TO DRILL, SET AND EPOXY GROUT DOWEL, IF NOT INSTALLED WHEN THE BUILDING SLAB WAS POURED.
2. REFER TO ARCHITECTURAL DRAWINGS FOR DOOR LOCATIONS. DOOR STOOP SHALL EXTEND 12" PAST EACH SIDE OF DOOR MIN.
3. USE A 10'x5' SLAB MINIMUM AT A DOUBLE DOOR ENTRY.
4. USE A 5'x5' SLAB MINIMUM AT A SINGLE DOOR ENTRY.

41 1/2" EXPANSION JOINT MATERIAL
NOT TO SCALE

TEMPORARY DELINEATOR

Manufacturer:
Post Guard/ Encore Commercial Products

Contact Information:
Post Guard/ Encore Commercial Products
Jeff Liebowitz
1-248-463-9112
www.postguard.com

Standard Description:
Temporary delineator used to direct traffic at Drive-Thru lanes.

Dimensions: 2 1/3" x 48"
Finish: White with white reflective tape

Product Used In:
Concepts: All
Prototype: All
Palette: All

Ordering Information:
Gorilla Post- 2 1/3" x 48"

| | | | |
|--|-------|----------------------|----------|
| | 02800 | Temporary Delineator | 08.20.18 |
| | PST | | 1/1 |

WOOD FENCE DETAIL

PLANT PROTECTIVE FENCING

PERFORATED PLASTIC FENCE DETAIL

WARNING SIGN DETAIL

NOTES:

- REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
- LANDSCAPING PLANS SHALL SHOW LOCATIONS OF ALL TREE PROTECTION FENCES.
- ALL PLANTS TO BE SAVED SHALL BE PROTECTED BY FENCING AS SHOWN IN THIS DETAIL.
- CONTRACTOR SHALL INSTALL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING ACTIVITY.
- CONTRACTOR SHALL CALL FOR INSPECTION AND APPROVAL OF PROTECTIVE FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING.
- PROTECTIVE FENCING SHALL BE LOCATED 6' OUTSIDE DRIFLINE OF TREES AND 1' MINIMUM OUTSIDE SHRUBS OR OTHER PLANTS.

| | | |
|--|--------------------------|------------------|
| TOWN OF KNIGHTDALE STANDARD DETAILS | PLANT PROTECTIVE FENCING | STD. NO. 2.10 |
|--|--------------------------|------------------|

NOTES:

- TOTAL DRAINAGE AREA FLOWING TO SILT FENCE MAY NOT EXCEED 1 ACRE.
- SILT FENCES SHOULD NOT BE USED AT PIPE OUTLETS OR IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHES, SWELLS ETC.)

TEMPORARY SILT FENCE

TO INCREASE STORAGE CAPACITY AND PROLONG THE LIFE OF THE SILT FENCE, IT IS GENERALLY ADVISABLE TO DIG A SEDIMENT PIT IN FRONT OF YOUR SILT FENCE, WHENEVER POSSIBLE.

TO INCREASE STORAGE CAPACITY AND PROLONG THE LIFE OF THE SILT FENCE, IT IS GENERALLY ADVISABLE TO DIG A SEDIMENT PIT IN FRONT OF YOUR SILT FENCE, WHENEVER POSSIBLE.

12 GAUGE 4"x4" OR 2"x4" WELDED WIRE HOOKED ONTO PREFORMED CHANNELS ON METAL POSTS, OR FASTENED TO CEDAR OR WOOD POSTS W/ NO. 8 STAPLES.

ULTRAVIOLET RESISTANT (BLACK) MFR/FABRIC OR EQUIVALENT SECURED TO WIRE W/ METAL CLIPS OR WIRE AT 6" CENTER.

MAX. SEDIMENT STORAGE LEVEL. REMOVE SEDIMENT WHEN THIS LEVEL IS REACHED OR AS DIRECTED BY CONSERVATION INSPECTOR.

SHEET DRAINAGE (ONLY)

NATURAL GRADE

CARRY APPROX. 12" OF FABRIC INTO TRENCH, COVER W/ SOIL & TAMP BACKFILL.

CARRY 6" OF WIRE INTO TRENCH.

METAL, CEDAR OR 4"x4" TREATED WOOD POSTS AT 10' O.C. MAX. CEDAR & WOOD POSTS SHOULD BE 3" DEEP MIN.

| | | |
|--|----------------------|------------------|
| TOWN OF KNIGHTDALE STANDARD DETAILS | TEMPORARY SILT FENCE | STD. NO. 2.03 |
|--|----------------------|------------------|

STANDARD 2'-6" CURB AND GUTTER

1'-6" STANDARD CURB AND GUTTER

2'-0" STANDARD CURB & GUTTER

SLOPE FOR VARIABLE SUPER ELEVATION RATES

| | | |
|--|-----------------|----------------------------|
| TOWN OF KNIGHTDALE STANDARD DETAILS | CURB AND GUTTER | 1 of 3 STD. NO. 4.01 |
|--|-----------------|----------------------------|

WHEEL STOP - STANDARD 6' / DELUXE 6'

Solid Polyethylene Wheel Stop with 3-Piece Rebar Attachment

MANUFACTURER: Plastics-R-Unique, Inc.

CHARACTERISTICS:

- 3-piece rebar per wheel stop for asphalt and concrete installation
- Standard 6'
 - Size - 72" x 6"W x 4"H
 - Weight - 32 lbs.
- Deluxe 6'
 - Size - 72" x 7"W x 4 1/2"H
 - Weight - 36 lbs.

INSTALLATION:

- Use only manufacturer supplied lags and spikes
- Pre-drill holes through parking surfaces - 3/4" bit for lags and 3/8" bit for spikes
- Fill pre-drilled holes with heavy duty construction adhesive by Loctite PL375*
- Provide (3) 8" lags for concrete pavement or 12" galvanized plated spikes for asphalt pavement required for each wheel stop
- See manufacturer's instructions for installation

COLOR: Yellow

WARRANTY: Lifetime replacement warranty (covers damage/breakage due to normal wear and tear)

CONTACT INFORMATION:
ADDRESS: Plastics-R-Unique, Inc.
352 Mill Street
Wadsworth, OH 44281
Bobbie Pertie
PHONE: 330-334-4820
FAX: 330-334-4720

ORDERING INFORMATION:
Standard 6' - Model # 56PBYTRUE
Deluxe 6' - Model # 6PBY

DESIGN 02700 PST CLEARANCE BAR 04.29.19 1/1

Barrier Fence

Colonial Construction Materials

Heavy Duty High Visibility Orange Barrier Fence

Specifications

| | |
|---------------------------|-------------------------------|
| Product Code | SLM4548100 |
| Roll Size | 4' x 100' |
| Roll Weight | 18 pounds |
| Material | High Density Polyethylene |
| Ultraviolet Resistance | Full Stabilized |
| Temperature Range | -60 to 180 Degrees Fahrenheit |
| Tensile Yield | 3200 PSI |
| Ultimate Tensile Strength | 2600 PSI |
| Color | Orange |

More colors available upon request.

Distributed by Colonial Construction Materials Inc.
1071 Merchants Lane, Olville, VA 23129
Ph. 800-436-6287
www.colonial-materials.com

always fresh
FACILITIES MANAGEMENT

CLEARANCE BAR

Manufacturer:
Uni-Structures, Inc. or Chandler Signs

Contact Information:
Uni-Structures, Inc.
Carolyn Ward
676-974-1759
c.ward@unistructures.com

Chandler Signs
Kristen Hamilton
210-349-3804
CF_A@chandleresigns.com

Standard Description:
Clearance Bar placed in the Drive-Thru Lane ahead of Order Point Canopies to alert drivers to height restriction. The clearance bar should rotate when struck and then return to the original position.

Refer to Canopy & Site Element Standard for dimensions.

Color: Dark Bronze

Product Used In:
Concepts: All
Prototype: All

Ordering Information:
Model #
-C7 Single Clearance Bar
-C7 Double Clearance Bar

DESIGN 02700 PST CLEARANCE BAR 04.29.19 1/1

GALVANIZED 24 GAUGE MINIMUM WIRE MESH HARDWARE CLOTH, 1/4" OPENINGS (ON ALL FOUR SIDES)

STANDARD METAL POSTS 2'-0" IN GROUND

#57 WASHED STONE PLACED TO A HEIGHT OF 12"-18" MINIMUM ABOVE TOP OF BOX (AROUND ALL FOUR SIDES)

METAL POST

WIRE MESH HARDWARE CLOTH

#57 WASHED STONE

FLOW DIRECTION

BURY HARDWARE CLOTH 6" MINIMUM

CATCH BASIN/ YARD INLET

FRONT CUT-AWAY VIEW

FRONT SECTION VIEW

STANDARD CATCH BASIN/ YARD INLET PROTECTION

(SEE SITE PLAN)

(PER SITE PLAN OR 60')

24"

WHITE THERMOPLASTIC 24" WIDE WHITE LINES

CROSSWALK DETAIL N.T.S.

Manufacturer:
Uni-Structures, Inc. or Chandler Signs

Contact Information:
Uni-Structures, Inc.
Carolyn Ward
676-974-1759
c.ward@unistructures.com

Chandler Signs
Kristen Hamilton
210-349-3804
CF_A@chandleresigns.com

Standard Description:
Clearance Bar placed in the Drive-Thru Lane ahead of Order Point Canopies to alert drivers to height restriction. The clearance bar should rotate when struck and then return to the original position.

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Concepts: All
Prototype: All

Ordering Information:
Model #
-C7 Single Clearance Bar
-C7 Double Clearance Bar

DESIGN 02700 PST CLEARANCE BAR 04.29.19 1/1

CONSTRUCTION DOCUMENTS

CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

CONSULTANT PROJECT # NCR191501
PRINTED FOR CONSTRUCTION
DATE 5/18/21
DRAWN BY RMG

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SHEET SITE DETAILS

SHEET NUMBER C-4.4

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: [Signature] Date: 8/13/2021
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: [Signature] Date: 8/20/2021
Administrator

Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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BOHLER ENGINEERING NC, PLLC
NCBLS 9-1132
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

CONSULTANT PROJECT # NCR191501
PRINTED FOR CONSTRUCTION
DATE 5/18/21
DRAWN BY RMG

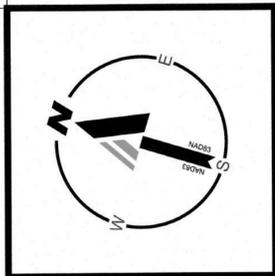
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SHEET SITE DETAILS

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By: [Signature] Date: 8/13/2021
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: [Signature] Date: 8/20/2021
Administrator



GRADING LEGEND

| EXISTING NOTE | TYPICAL NOTE TEXT | PROPOSED NOTE |
|------------------------|-------------------|------------------------|
| --- | CONTOUR LINE | 120 125 |
| TC 516.00 OR 516.00 | SPOT ELEVATIONS | TC 516.00 PC 515.55 |
| STM | STORM LABEL | STM |
| --- | STORM SEWER | --- |
| --- | YARD INLET | --- |



Chick-fil-A

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CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

CONSTRUCTION DOCUMENTS

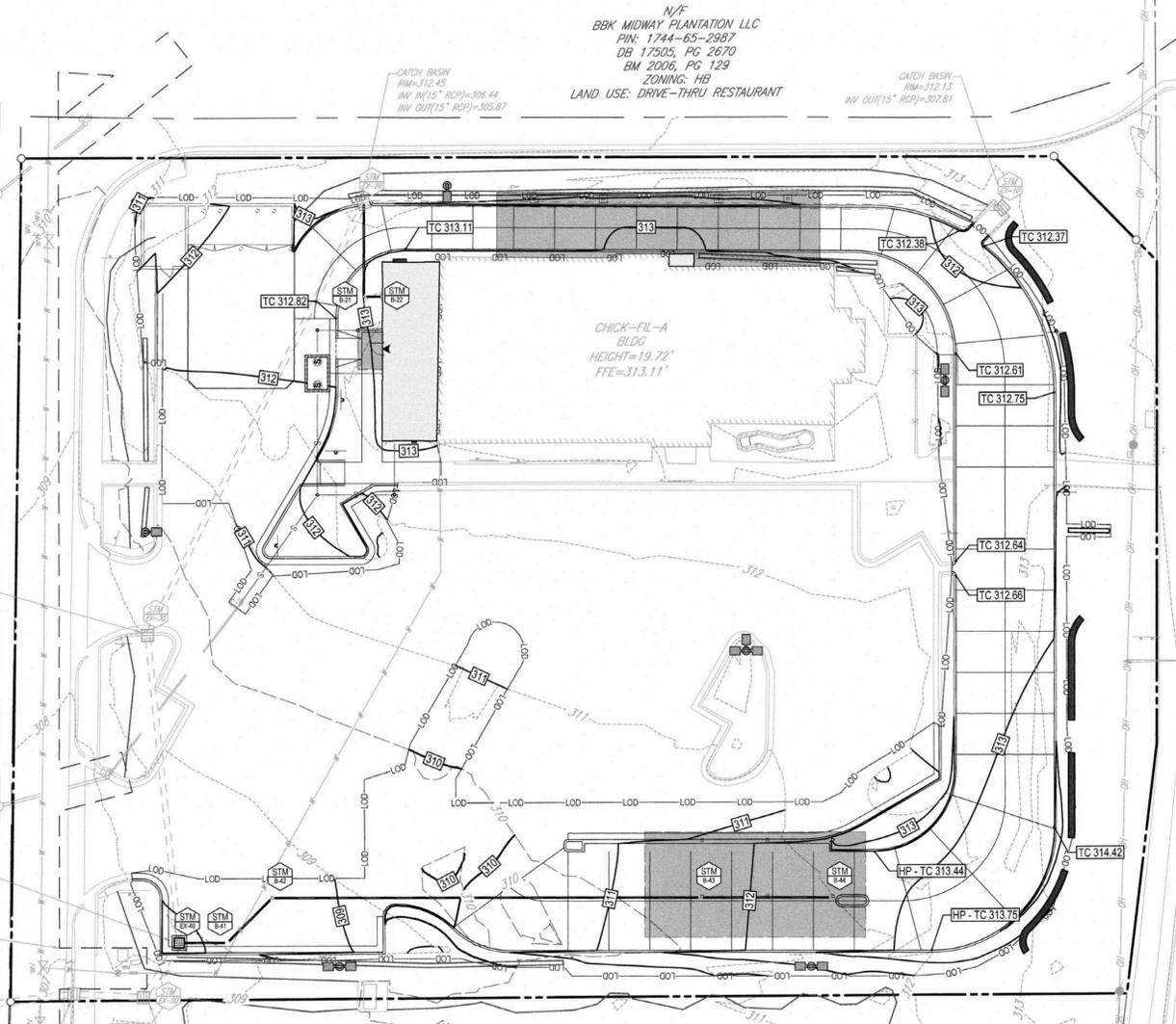
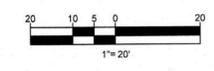
STORM STRUCTURE SCHEDULE

| NAME | TYPE | RIM ELEV. (FT.) | INVERTS |
|-------|-----------------------------------|-----------------|--|
| B-21 | PROP. STM. CLEANOUT | 313.00' | INV IN = 309.06' (4') INV OUT = 308.98' (4') |
| B-22 | PROP. ROOF DRAIN | 313.11' | INV OUT = 309.11' (4') |
| B-41 | PROP. NYLONLAST STRUCTURE | 308.19' | INV IN = 303.72' (4') INV OUT = 303.62' (4') |
| B-42 | PROP. TRAFFIC RATED STM. CLEANOUT | 308.66' | INV IN = 303.97' (4') INV OUT = 303.87' (4') |
| B-43 | PROP. ROOF DRAIN | 311.65' | INV IN = 305.12' (4') INV OUT = 305.44' (4') |
| B-44 | PROP. ROOF DRAIN | 312.60' | INV OUT = 305.44' (4') |
| EX-10 | EX. CURB INLET | 312.12' | INV OUT = 307.81' (15') |
| EX-20 | EX. CURB INLET | 312.56' | INV IN = 306.44' (15') INV OUT = 306.87' (15') |
| EX-30 | EX. CURB INLET | 309.67' | INV IN = 305.04' (15') INV OUT = 304.97' (15') |
| EX-40 | PROP. GRATE INLET (NCDOT 840.14) | 307.87' | INV IN = 303.55' (4') INV IN = 304.13' (15') INV OUT = 303.21' (18') |

STORM SEWER PIPE SCHEDULE

| FROM | TO | FROM INV | TO INV | PIPE LENGTH | SLOPE (%) | DIAMETER (IN.) | MATERIAL | EXISTING OR PROPOSED |
|-------|-------|----------|---------|-------------|-----------|----------------|----------|----------------------|
| EX-50 | EX-40 | 302.48' | 303.21' | 15.91' | 4.59% | 18" | RCP | EXISTING |
| EX-40 | B-41 | 303.50' | 303.62' | 11.75' | 1.00% | 4" | PVC | PROPOSED |
| EX-40 | EX-30 | 304.13' | 304.97' | 75.33' | 1.12% | 15" | RCP | EXISTING |
| EX-30 | EX-20 | 305.04' | 305.87' | 117.72' | 0.71% | 15" | RCP | EXISTING |
| EX-20 | B-21 | 308.74' | 308.98' | 22.75' | 1.00% | 4" | PVC | PROPOSED |
| EX-20 | EX-10 | 306.44' | 307.81' | 156.04' | 0.88% | 15" | RCP | EXISTING |
| B-43 | B-44 | 305.12' | 305.44' | 32.00' | 1.00% | 4" | PVC | PROPOSED |
| B-42 | B-43 | 303.97' | 305.02' | 104.81' | 1.00% | 4" | PVC | PROPOSED |
| B-41 | B-42 | 303.72' | 303.87' | 15.43' | 1.00% | 4" | PVC | PROPOSED |
| B-21 | B-22 | 308.06' | 309.11' | 4.54' | 1.00% | 4" | PVC | PROPOSED |

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: S. Allen Date: 8/15/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: D. Sadman Date: 8/20/2021
Administrator



N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-65-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: GENERAL RETAIL

N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-65-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: DRIVE-THRU RESTAURANT

N/F
SLMC LLC
PIN: 1744-65-6556
DB 13275, PG 2646
BM 2006, PG 129
ZONING: HB
LAND USE: RESTAURANT

EX. CATCH BASIN TO BE CONVERTED TO GRAZE INLET
EX. RIM=308.57
INV IN(15" RCP)=304.13
INV OUT(18" RCP)=303.21

30' TOWN OF KNIGHTDALE SAN SEWER AND WATER EASEMENT
BM 2006, PG 131

CATCH BASIN
RIM=305.58
INV IN(18" RCP)=300.41
INV OUT(18" RCP)=300.19

CATCH BASIN
RIM=307.32
INV IN(18" RCP)=301.66
INV OUT(18" RCP)=300.77

CULVERT
RIM=308.00
BOTTOM OF BOX=302.48

A

B

C

D

E

A

B

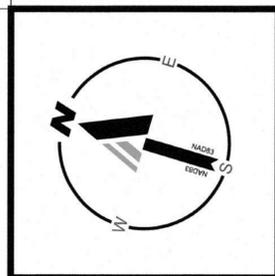
C

D

E

CITY OF RALEIGH PUBLIC UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 80' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 0.5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES. UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
3. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
4. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
5. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
6. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
9. INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
10. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
13. NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION



UTILITY LEGEND

| EXISTING NOTE | TYPICAL NOTE TEXT | PROPOSED NOTE |
|---------------|----------------------------|---------------|
| —W— | UNDERGROUND WATER LINE | —W— |
| —E— | UNDERGROUND ELECTRIC LINE | —E— |
| —G— | UNDERGROUND GAS LINE | —G— |
| —OH— | OVERHEAD WIRE | —OH— |
| —T— | UNDERGROUND TELEPHONE LINE | —T— |
| —C— | UNDERGROUND CABLE LINE | —C— |
| —S— | STORM SEWER | —S— |
| —SM— | SANITARY SEWER MAIN | —SM— |
| —H— | HYDRANT | —H— |
| —M— | SANITARY MANHOLE | —M— |
| —W— | WATER METER | —W— |
| —V— | WATER VALVE | —V— |
| —CI— | CURB INLET | —CI— |
| —CO— | CLEAN OUT | —CO— |

UTILITY PLAN DESIGN NOTES & KEY PLAN

1. THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE EXISTING SEWER CLEANOUT. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY STRUCTURES AND LINES BEFORE THE START OF CONSTRUCTION TO VERIFY SIZE AND DEPTH OF EXISTING UTILITIES ARE ADEQUATE FOR PROPOSED IMPROVEMENTS. CONTRACTOR SHALL CONTACT ENGINEER OF ANY ISSUES THAT ARISE ON SITE.

CAUTION/WARNING

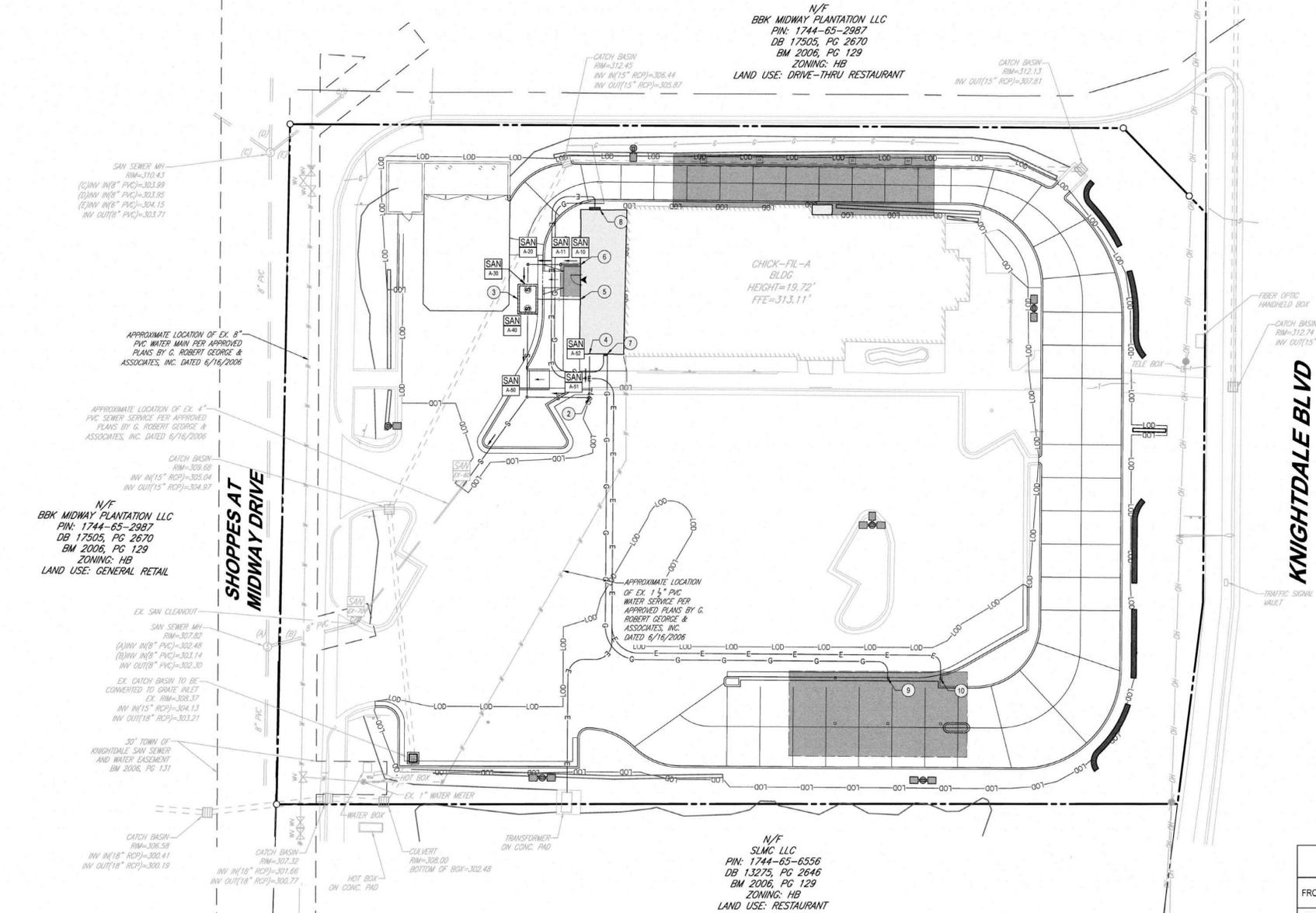
1. TYPICAL CLEANOUT. ALL CLEANOUTS TO BE TRAFFIC RATED.
2. GREASE TRAP TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH DRIVEWAY PAVEMENT ELEVATION. GREASE TRAP TO BE A MINIMUM SIZE OF 1,000 GALLONS.
3. SEWER SERVICE LINE AND CLEANOUT FROM RESTROOM FACILITIES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. SERVICE LINE SHALL BY-PASS GREASE TRAP AND CONNECT BEYOND THE OUTLET SIDE.
4. 3" VENT LINE TO BE INSTALLED BY SITE UTILITY CONTRACTOR. SEE ARCHITECT PLUMBING PLANS.
5. 4" KITCHEN WASTE LINE. INSTALL CLEANOUT APPROXIMATELY 6' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS.
6. GAS SERVICE LINE AND METER INSTALLATION LOCATION. SEE ARCHITECTS PLUMBING PLANS FOR SIZE REQUIREMENTS AND EXACT CONNECTION LOCATION. COORDINATE WITH GAS COMPANY FOR GAS SERVICE LINE INSTALLATION.
7. ELECTRICAL SERVICE LINE CONNECTION AT BUILDING. CONDUIT SHALL BE BURIED A MINIMUM OF 36" BELOW FINISHED GRADE. ABRUPT BENDS SHALL NOT BE ALLOWED. USE LONG SWEEP ELBOWS AND OTHER NECESSARY FITTINGS TO PROVIDE GRADUAL CHANGES IN DIRECTION. ELECTRIC SERVICE INSTALLATION TO BE COORDINATED WITH LOCAL ELECTRIC COMPANY.
8. GAS LINE TO ORDER CANOPY
9. ELEC. LINE TO ORDER CANOPY

SANITARY STRUCTURE SCHEDULE

| NAME | TYPE | RIM ELEV. (FT.) | INVERTS |
|-------|--|-----------------|--|
| A-10 | PROP. BLDG CONNECTION (GREASE WASTE) | 313.11' | INV OUT = 309.11' (4') |
| A-11 | PROP. SAN CLEANOUT | 312.62' | INV IN = 308.63' (4') INV OUT = 306.63' (4') |
| A-20 | PROP. TRAFFIC RATED SAN CLEANOUT | 312.26' | INV IN = 307.84' (4') INV OUT = 307.63' (4') |
| A-30 | PROP. GREASE TRAP (IN) | 312.14' | INV IN = 307.15' (4') |
| A-40 | PROP. GREASE TRAP (OUT) | 311.96' | INV OUT = 306.65' (4') |
| A-50 | PROP. SAN CLEANOUT | 312.17' | INV IN = 304.64' (4') INV IN = 304.54' (4') INV OUT = 304.54' (4') |
| A-51 | PROP. TRAFFIC RATED SAN CLEANOUT | 312.19' | INV IN = 307.79' (4') INV OUT = 306.52' (4') |
| A-52 | PROP. BLDG CONNECTION (DOMESTIC WASTE) | 313.11' | INV OUT = 309.11' (4') |
| EX-60 | EX. SAN CLEANOUT | 310.42' | INV IN = 304.20' (4') INV OUT = 304.00' (4') |

SANITARY PIPE SCHEDULE

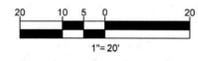
| FROM | TO | FROM INV | TO INV | PIPE LENGTH | SLOPE (%) | DIAMETER (IN.) | MATERIAL | EXISTING OR PROPOSED |
|-------|-------|----------|--------|-------------|-----------|----------------|----------|----------------------|
| EX-70 | EX-60 | 303.48 | 304.00 | 52.10 | 1.00% | 4" | PVC | EXISTING |
| EX-60 | A-50 | 304.20 | 304.54 | 33.80 | 1.00% | 4" | PVC | PROPOSED |
| A-51 | A-52 | 307.79 | 309.11 | 13.20 | 10.00% | 4" | PVC | PROPOSED |
| A-50 | A-51 | 304.64 | 306.52 | 18.82 | 10.00% | 4" | PVC | PROPOSED |
| A-50 | A-40 | 304.64 | 306.65 | 25.12 | 8.00% | 4" | PVC | PROPOSED |
| A-30 | A-20 | 307.15 | 307.63 | 6.00 | 8.00% | 4" | PVC | PROPOSED |
| A-20 | A-11 | 307.84 | 308.63 | 9.82 | 8.00% | 4" | PVC | PROPOSED |
| A-11 | A-10 | 308.63 | 309.11 | 6.00 | 8.00% | 4" | PVC | PROPOSED |



N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-65-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: GENERAL RETAIL

N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-65-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: DRIVE-THRU RESTAURANT

N/F
S/M/C LLC
PIN: 1744-65-6556
DB 13275, PG 2646
BM 2006, PG 129
ZONING: HB
LAND USE: RESTAURANT

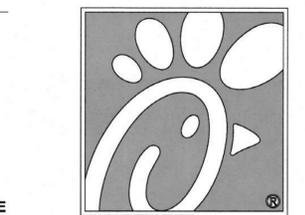


CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: S. Smith Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: D. Guman Date: 8/16/2021
Administrator



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5200 Buffington Road
Atlanta, Georgia 30349-2998

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NCBLES P-1132
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com



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KNIGHTDALE, NC 27545

FSU#1760

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

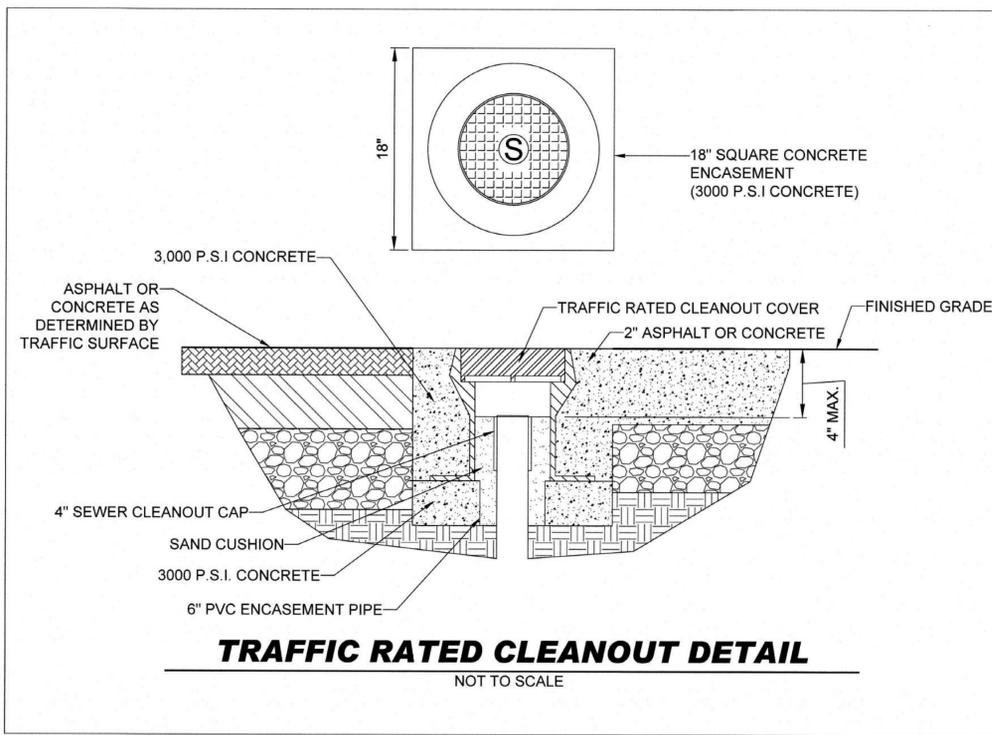
CONSULTANT PROJECT # NCR191501
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DRAWN BY RMG

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SHEET UTILITY PLAN

SHEET NUMBER

C-6.0

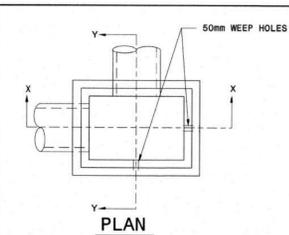


STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

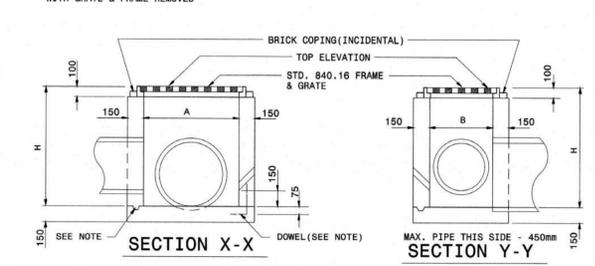
7-06

METRIC STANDARD DRAWING FOR
CONCRETE DROP INLET
300mm THRU 750mm PIPE

840.14



GENERAL NOTES:
USE CLASS "B" CONCRETE THROUGHOUT.
PROVIDE ALL DROP INLETS OVER 1.0M IN DEPTH WITH STEPS 300mm ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
OPTIONAL CONSTRUCTION - MONOLITHIC POUR 50mm KEYWAY OR #13 BAR DOWELS AT 300mm CENTERS AS DIRECTED BY THE ENGINEER.
USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
CONSTRUCT WITH PIPE CROWNS MATCHING.
MAX. DEPTH OF THIS STRUCTURE FROM TOP OF BOTTOM SLAB TO TOP ELEV. IS 3.6 METERS.
INSTALL 50mm WEEPHOLES AS DIRECTED BY THE ENGINEER.
INSTALL STONE DRAINS OF A MINIMUM OF 0.028 CUBIC METER OF NO. 75M STONE IN A POROUS FABRIC BAG OR WRAP, AT EACH WEEP HOLE OR AS DIRECTED BY THE ENGINEER.
CHAMFER ALL EXPOSED CORNERS 25mm.
DRAWING NOT TO SCALE.



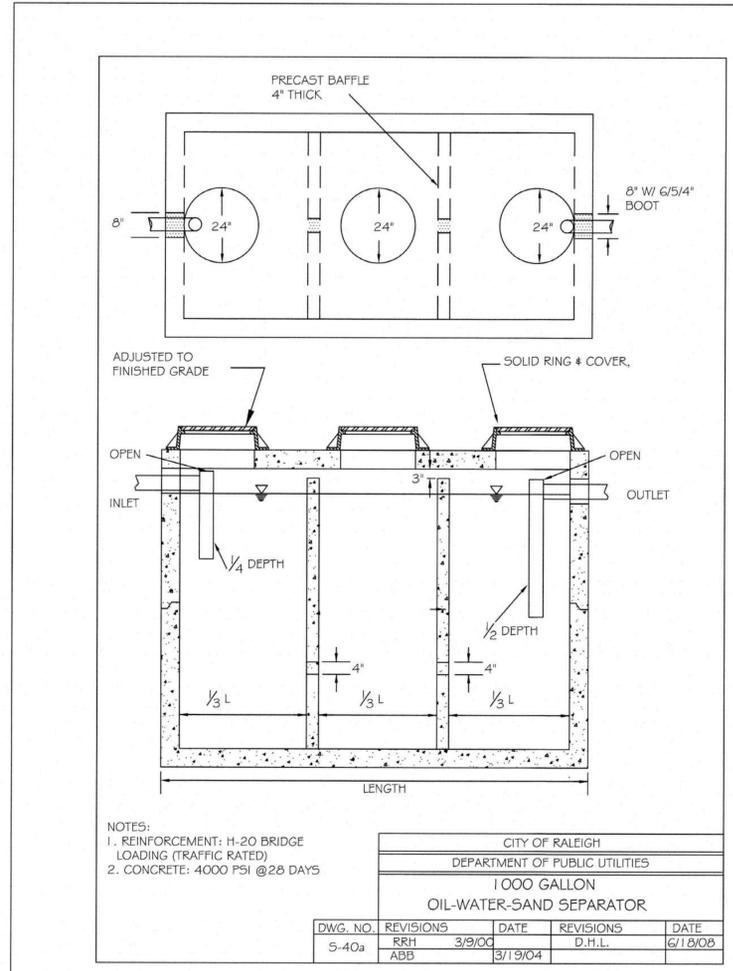
| DIMENSIONS OF BOX & PIPE | | CUBIC METERS | | DEDUCTIONS FOR ONE PIPE | |
|--------------------------|------|--------------|--------|-------------------------|-------------------------|
| PIPE | SPAN | WIDTH | HEIGHT | IN BOX | CONCRETE |
| D | A | B | H | BOTTOM SLAB | WALL / MIN. H |
| 300 | 914 | 610 | 610 | 0.166 | 0.554 |
| 375 | | | 686 | 0.495 | 0.017 0.027 |
| 450 | | | 762 | 0.537 | 0.025 0.037 |
| 600 | | | 914 | 0.622 | 0.045 0.065 |
| 750 | 914 | 610 | 1067 | 0.166 | 0.554 0.707 0.070 0.097 |

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

7-06

METRIC STANDARD DRAWING FOR
CONCRETE DROP INLET
300mm THRU 750mm PIPE

840.14



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

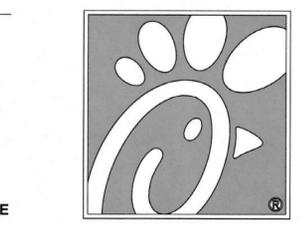
City of Raleigh Development Approval _____

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: *[Signature]* Date: 8/3/2021
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: *[Signature]* Date: 8/20/2021
Administrator



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



BOHLER
BOHLER ENGINEERING NC, PLLC
NCBELS P-1132
4130 PARKLAKE AVENUE, SUITE 130
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Phone: (919) 578-9000
NC@BohlerEng.com



CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545

FSU#1760

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
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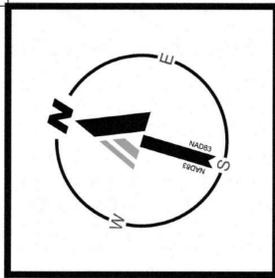
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SHEET UTILITY DETAILS

SHEET NUMBER

C-6.1



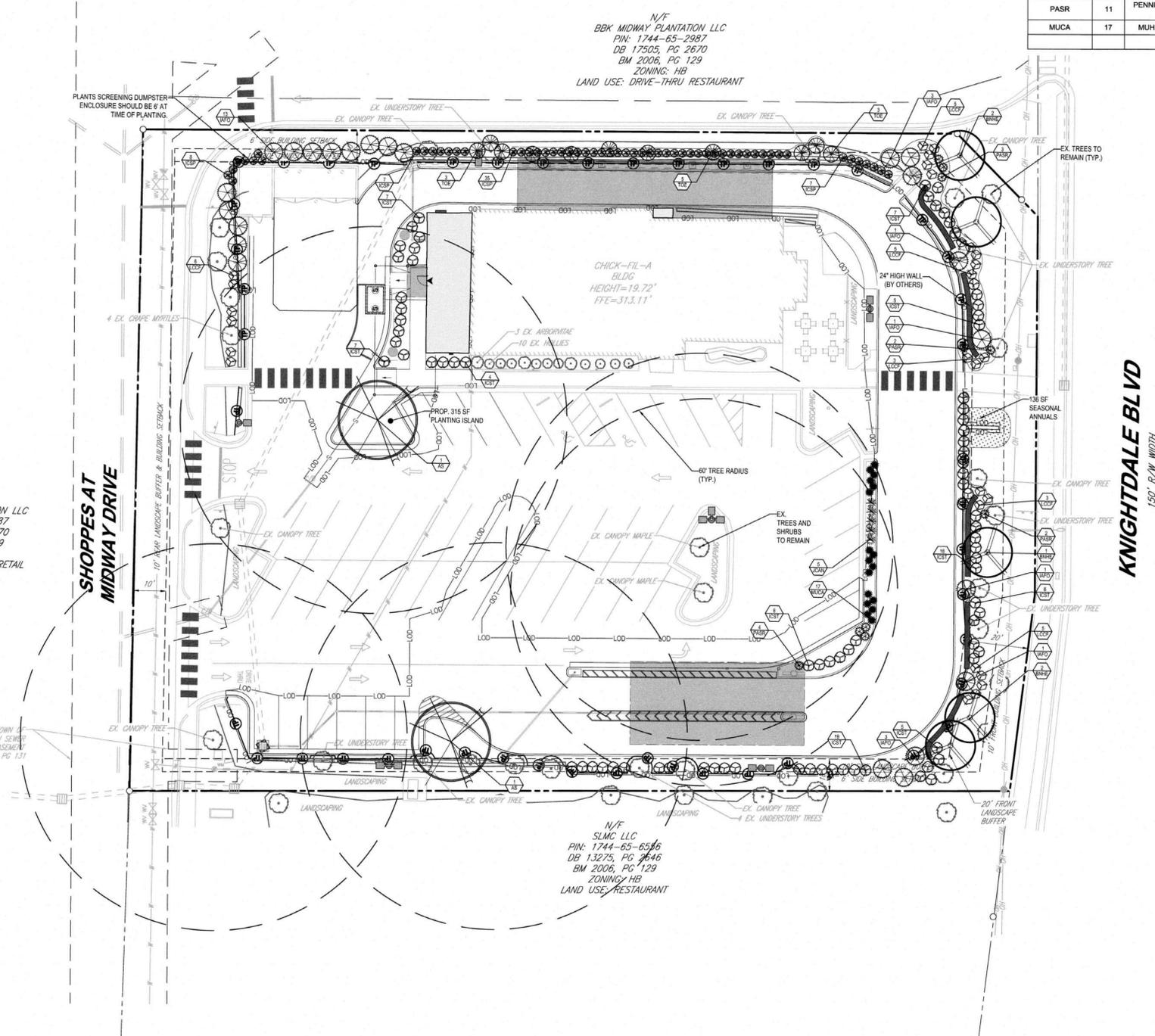
LANDSCAPE COMPLIANCE CHART KNIGHTDALE, NC

| SECTION | REQUIREMENT | CALCULATIONS (REQUIRED/PROVIDED) | COMPLIANCE |
|---------|--|---|--|
| 8.7 | SCREENING A: TYPE 'B' BUFFER ALONG ROAD FRONTAGE AT DRIVE THRU. | 200 LF DRIVE THRU SCREENING PER 100 LF • (3) CANOPY TREE • (6) UNDERSTORY TREE • (20) SHRUB | COMPLIES REQ. 6 EXIST. 3 PROP. 5 TOTAL 8 REQ. 12 EXIST. 9 PROP. 10 TOTAL 19 REQ. 40 EXIST. 0 PROP. 55 TOTAL 55 |
| | TYPE B BUFFER YARD: • 20' WIDE • GROUND TO 6" SEMI-OPAQUE SCREEN • MAXIMUM HORIZONTAL OPENING: 5 FEET • 6'-30" - INTERMITTENT VISUAL OBSTRUCTION • MAXIMUM HORIZONTAL OPENING: 20 FEET • PER 100 LF OF BUFFER YARD: 3 CANOPY TREES, 6 UNDER-STORY TREES AND 20 SHRUBS | | |

| LANDSCAPE SCHEDULE | | | | | |
|---------------------------|------|---------------------------------------|---------------------------|---------------------|--------|
| KEY | QTY. | BOTANICAL NAME | COMMON NAME | CAL. / HT. | CONT. |
| SHADE TREES | | | | | |
| AS | 2 | ACER SACCHARUM | SUGAR MAPLE | 8' HT., 2" CAL. | B+B |
| BNHE | 5 | BETULA NIGRA 'HERITAGE' | HERITAGE RIVER BIRCH | 8' HT., 2" CAL. | B+B |
| EVERGREEN TREES | | | | | |
| IAFO | 29 | ILEX x ATTUNATA 'FOSTERS #2' | FOSTERS HOLLY | 2" CAL., 6' HT. | B+B |
| TOE | 11 | THUJA OCCIDENTALIS 'SMARAGD' | EMERALD GREEN ARBORVITAE | 2" CAL., 6' HT. | B+B |
| EVERGREEN SHRUBS | | | | | |
| ICSP | 49 | ILEX CRENATA 'SKY PENCIL' | SKY PENCIL HOLLY | 24-30" HT. & SPREAD | #5 CAN |
| ICSP | 8 | ILEX CRENATA 'SKY PENCIL' | SKY PENCIL HOLLY | MIN. 6' HT | B+B |
| ICST | 82 | ILEX CRENATA 'SOFT TOUCH' | SOFT TOUCH HOLLY | 18-24" HT. & SPREAD | #3 CAN |
| JCAN | 5 | JUNIPERUS CHINENSIS 'ANDORRA' | ANDORRA JUNIPER | 18" HT. & SPREAD | #3 CAN |
| LCCF | 27 | LOROPETALLUM CHINENSIS 'CRIMSON FIRE' | CRIMSON FIRE LOROPETALUM | 24" HT. & SPREAD | #3 CAN |
| ORNAMENTAL GRASSES | | | | | |
| PASR | 11 | PENNISETUM ALOPECUROIDES 'SKY ROCKET' | SKY ROCKET FOUNTAIN GRASS | 18" | #3 CAN |
| MUCA | 17 | MUHLENBERGIA CAPILLARIS | PURPLE MUHLEY GRASS | 18" | #3 CAN |

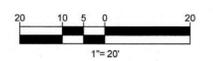
LANDSCAPING NOTES

- ANY DEAD OR MISSING PARKING LOT LANDSCAPING WILL NEED TO BE REPLACED BEFORE FINAL CO IS ISSUED.

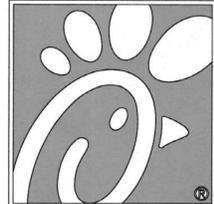


N/F
BBK MIDWAY PLANTATION LLC
PIN: 1744-65-2987
DB 17505, PG 2670
BM 2006, PG 129
ZONING: HB
LAND USE: GENERAL RETAIL

N/F
SLMC, LLC
PIN: 1744-65-6546
DB 13275, PG 446
BM 2006, PG 129
ZONING: HB
LAND USE: RESTAURANT



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: [Signature] Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: [Signature] Date: 8/26/2021
Administrator



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

811
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ALWAYS CALL 811
It's fast. It's free. It's the law.

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RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com



CHICK-FIL-A
KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

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SHEET LANDSCAPE PLAN

SHEET NUMBER
C-7.0

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS: A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

E. FERTILIZER: 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.

F. PLANT MATERIAL: 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL. 1.3. PLANTS SHALL BE LOGICALLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.

3. GENERAL WORK PROCEDURES: A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE ESTABLISHED AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

4. SITE PREPARATIONS: A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

5. TREE PROTECTION: A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

6. SOIL MODIFICATIONS: A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

7. FINISHED GRADING: A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

8. TOPSOILING: A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

9. PLANTING: A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

1.1. PLANTS: MARCH 15 TO DECEMBER 15
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

- ACER RUBRUM, PLATANUS X ACERIFOLIA, BETULA VARIETIES, POPULUS VARIETIES, CARPINUS VARIETIES, PRUNUS VARIETIES, CRATAEGUS VARIETIES, PYRUS VARIETIES, KOELREUTERIA, QUERCUS VARIETIES, LIQUIDAMBER STYRACIFLUA, TILIA TOMENTOSA, LIRODENDRON TULIPIFERA, ZELKOVA VARIETIES

I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

- 1 PART PEAT MOSS, 1 PART COMPOSTED COW MANURE BY VOLUME, 3 PARTS TOPSOIL BY VOLUME, 2 1/2 GALLONS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: A) 2 TABLETS PER 1 GALLON PLANT, B) 3 TABLETS PER 5 GALLON PLANT, C) 4 TABLETS PER 15 GALLON PLANT, D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED): A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING: A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE: A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON, ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

13. CLEANUP: A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

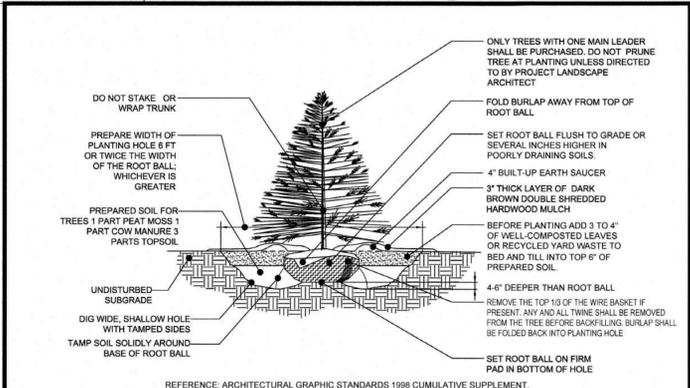
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

A. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

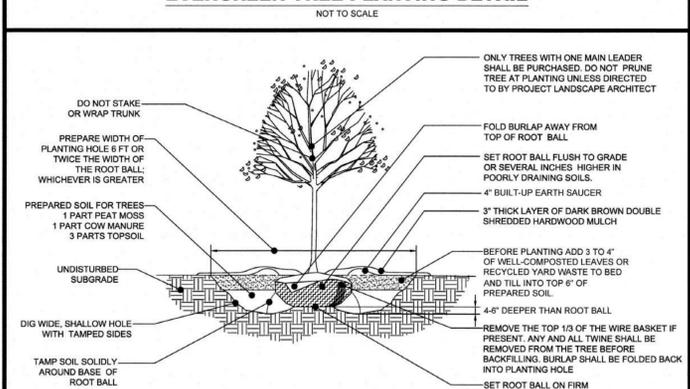
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA:

- 1.1. 20 POUNDS "GROW POWER" OR APPROVED EQUAL, 1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

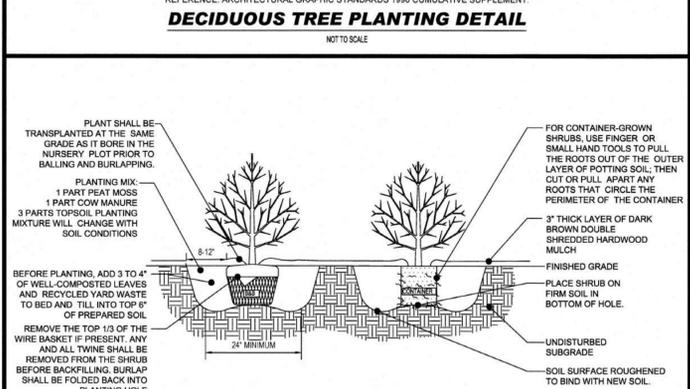
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.



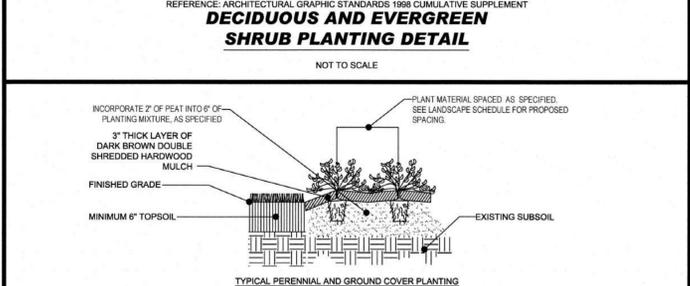
EVERGREEN TREE PLANTING DETAIL



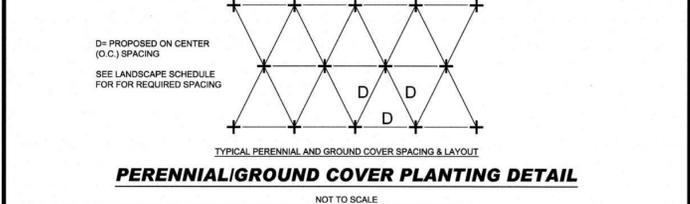
DECIDUOUS TREE PLANTING DETAIL



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

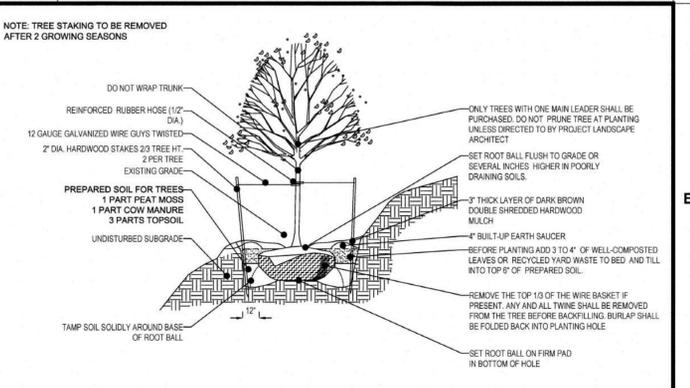


TYPICAL PERENNIAL AND GROUND COVER PLANTING



TYPICAL PERENNIAL AND GROUND COVER SPACING & LAYOUT

PERENNIAL/GROUND COVER PLANTING DETAIL



TREE PLANTING ON SLOPE DETAIL

NOTE: TREE STAKING TO BE REMOVED AFTER 2 GROWING SEASONS

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.

- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.

- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS: A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

3. PLANTING: A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL.

4. FINISHED GRADING: A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.



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Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998

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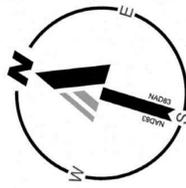


CHICK-FIL-A KNIGHTDALE BLVD. REMODEL 6711 KNIGHTDALE BLVD. KNIGHTDALE, NC 27545 FSU#1760

Table with 3 columns: NO., DATE, DESCRIPTION. Revision 1: 6-15-2021, TOWN OF KNIGHTDALE COMMENTS. Revision 2: 7-12-2021, TOWN OF KNIGHTDALE COMMENTS. Revision 4: 8-9-2021, SIGNATURE SET.

CONSULTANT PROJECT # NCR191501 PRINTED FOR CONSTRUCTION DATE 5/18/21 DRAWN BY RMG

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale. By: [Signature] Date: 8/13/2021



Site & Area
EcoForm
ECF-S small area light

Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 28,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

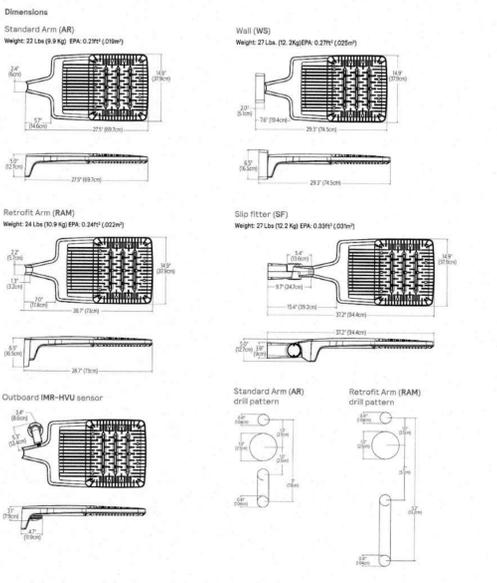
Ordering guide

| Part No. | Qty |
|----------|-----|----------|-----|----------|-----|----------|-----|----------|-----|----------|-----|
| ECF-S | 1 |

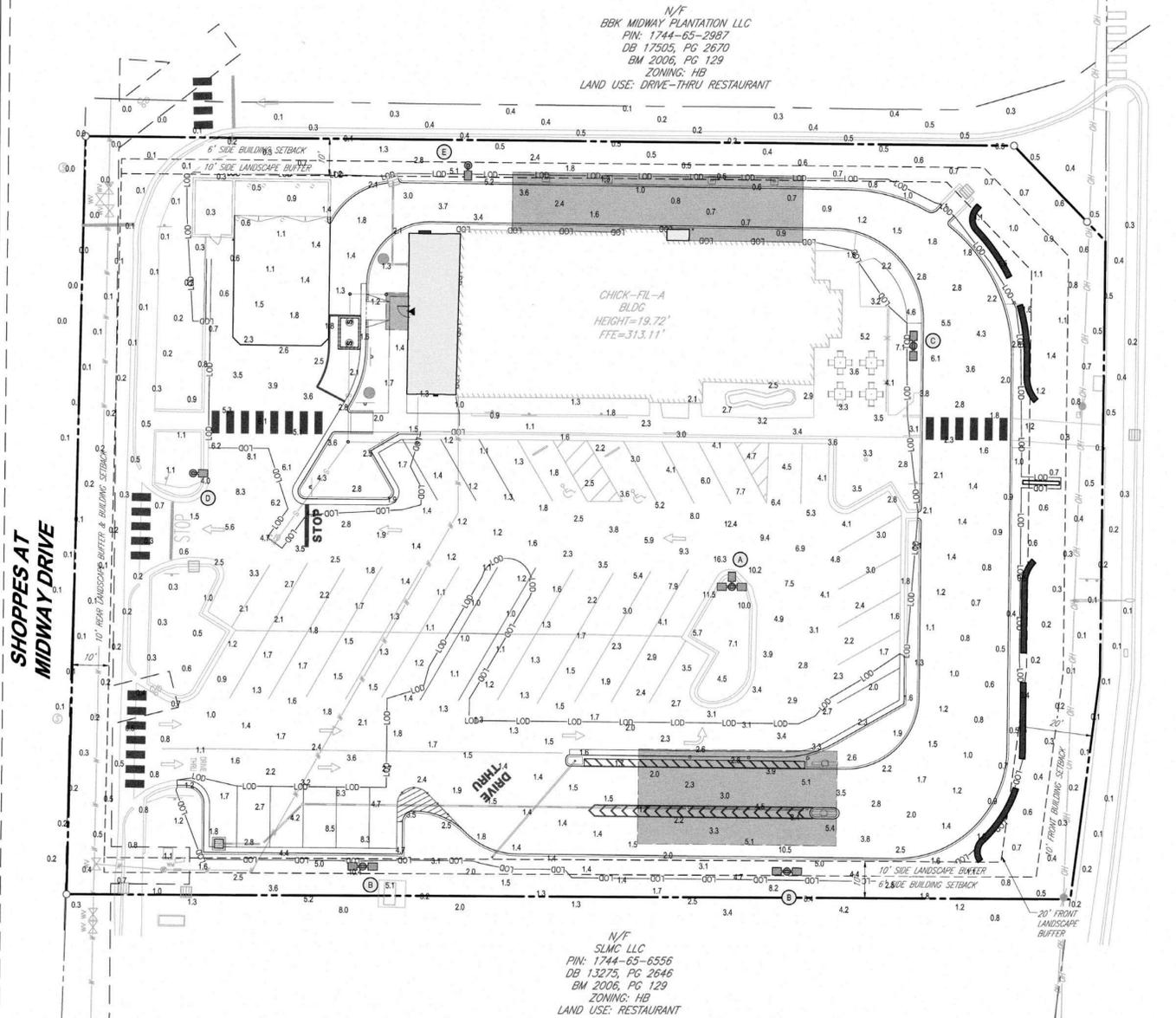
1. Not available with multi-banded sensor housing when voltage is 120V (E17/E27).
2. Mounts to a 4" round pole with adapter included for 1.5" diameter.
3. Limited to a maximum of 45 degrees aiming above horizontal.
4. Not available with the optional control options.
5. Not available with motion sensor.
6. Not available with photocell.
7. Available only in 120 or 277V.
8. Not available in 5ft or 6ft.
9. Must specify input voltage.
10. Dimming will not be connected to NEMA receptacle if wiring with other control options.
11. Not available in 48V.
12. Not available with 50 and 60 Hz.
13. Not available with 50 and 60 Hz.
14. Not available with 50 and 60 Hz.
15. Available only with DIM and DLG control options.

ECF-S_EcoForm_area_small 04/19 page 1 of 8

ECF-S EcoForm small Area luminaire



ECF-S_EcoForm_area_small 04/19 page 6 of 8



LUMINAIRE SCHEDULE

| QUANTITY | SYMBOL | FIXTURE TYPE | MOUNTING HEIGHT |
|----------|--------|---|-----------------|
| 1 | A | ECF-S-32L-1_2A-CW-G2-4 (TRIPLE MOUNTED) | 20'-0" |
| 2 | B | ECF-S-32L-1_2A-CW-G2-4 (MOUNTED 180°) | 20'-0" |
| 1 | C | ECF-S-32L-700-CW-G2-4 (MOUNTED 180°) | 20'-0" |
| 1 | D | ECF-S-32L-900-CW-G2-4 | 20'-0" |
| 1 | E | ECF-S-32L-700-CW-G2-2 | 20'-0" |

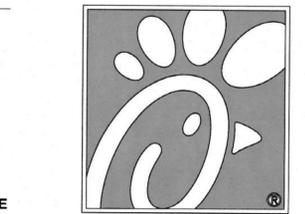
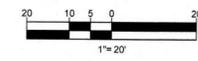
PARKING AREA CALCULATION SUMMARY

| UNITS | AVG | MIN | AVG/MIN |
|-------|------|-----|---------|
| 1 | 3.21 | 0.9 | 3.57 |

- LIGHTING PLAN DESIGN NOTES & KEY PLAN**
- 1 LIGHT "E" SHALL BE SHIELDED SO THAT LIGHT IS DEFLECTED AWAY FROM THE PROPERTY LINE
 - 2 ALL LIGHTS SHALL BE FULL CUTOFF LIGHTS

KNIGHTDALE BLVD
150' R/W WIDTH
BM 2006, PG 129

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: S. S. S. S. Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: D. S. S. S. Date: 8/20/2021
Administrator



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Atlanta, Georgia 30349-2998

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NC@BohlerEng.com



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KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

CONSTRUCTION DOCUMENTS

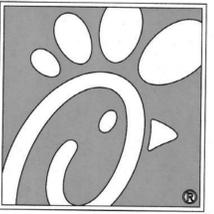
REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

CONSULTANT PROJECT # NCR191501
PRINTED FOR CONSTRUCTION
DATE 5/18/21
DRAWN BY RMG

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SHEET LIGHTING PLAN
SHEET NUMBER
C-7.2



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KNIGHTDALE BLVD. REMODEL
6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

CONSTRUCTION DOCUMENTS

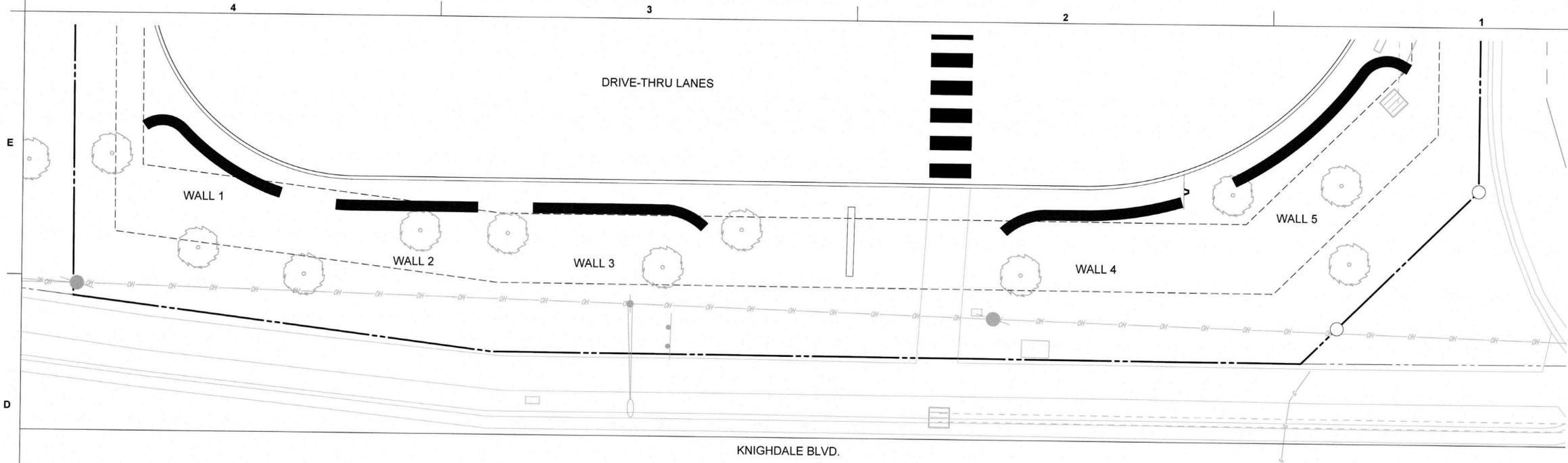
| REVISION SCHEDULE | | |
|-------------------|-----------|-----------------------------|
| NO. | DATE | DESCRIPTION |
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| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

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DATE 5/18/21
DRAWN BY RMG

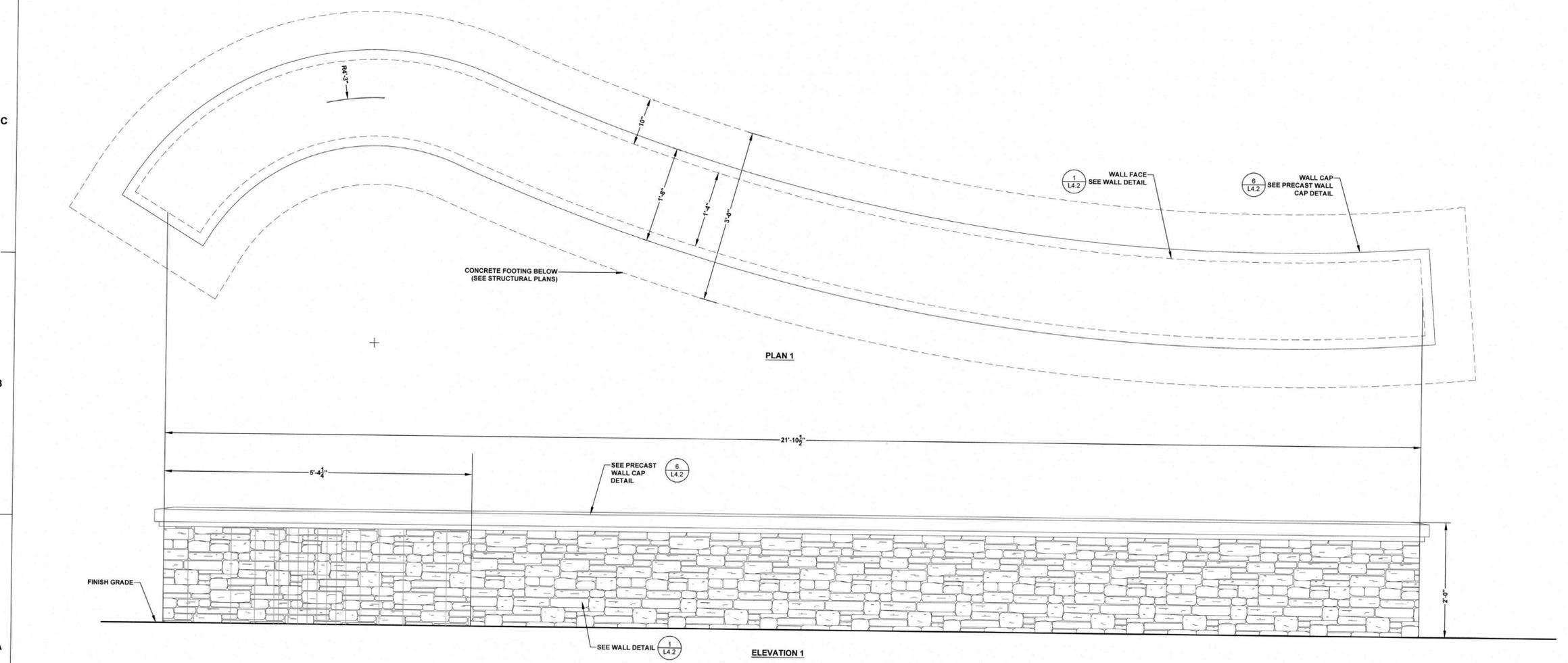
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SHEET ACCENT WALL DETAILS I

SHEET NUMBER

L-1.0

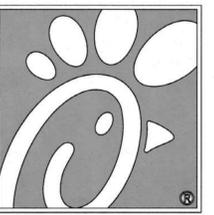


0 ACCENT WALL LOCATIONS
L4.0 Scale: 1" = 100'-0"



1 ACCENT WALL PLAN AND ELEVATION - WALL 1
L4.0 Scale: 1" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: *S. H. H. H.* Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: *D. Spelman* Date: 8/20/2021
Administrator



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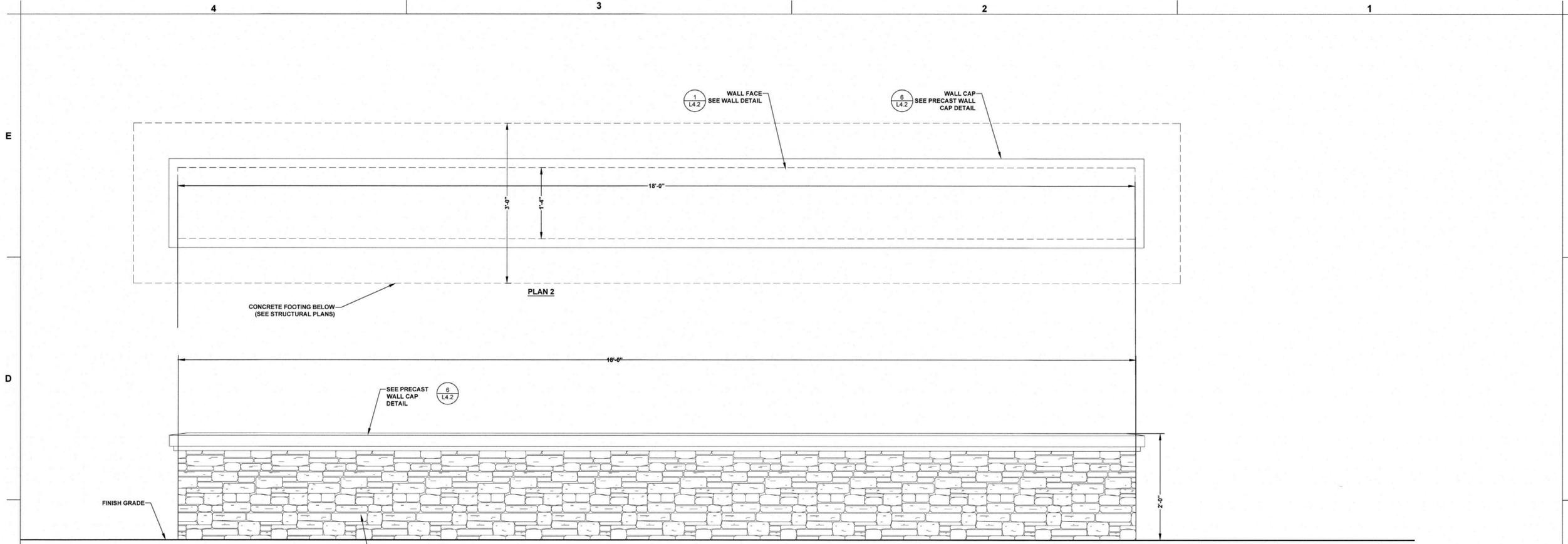
CONSTRUCTION DOCUMENTS
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6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

| REVISION SCHEDULE | | |
|-------------------|-----------|-----------------------------|
| NO. | DATE | DESCRIPTION |
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| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

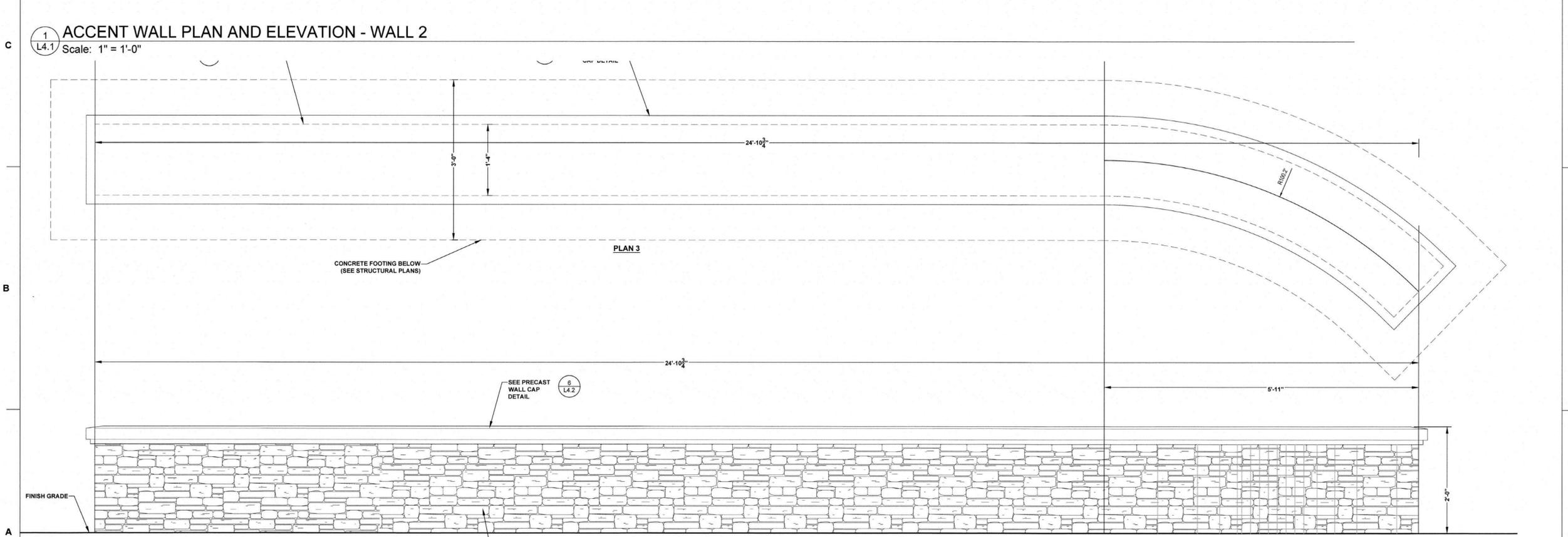
CONSULTANT PROJECT # NCR191501
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DATE 5/18/21
DRAWN BY RMG

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SHEET ACCENT WALL DETAILS II

SHEET NUMBER **L-1.1**



1 ACCENT WALL PLAN AND ELEVATION - WALL 2
Scale: 1" = 1'-0"



2 ACCENT WALL PLAN AND ELEVATION - WALL 3
Scale: 1" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: Scott Hill Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: D. Gudman Date: 8/20/2021
Administrator



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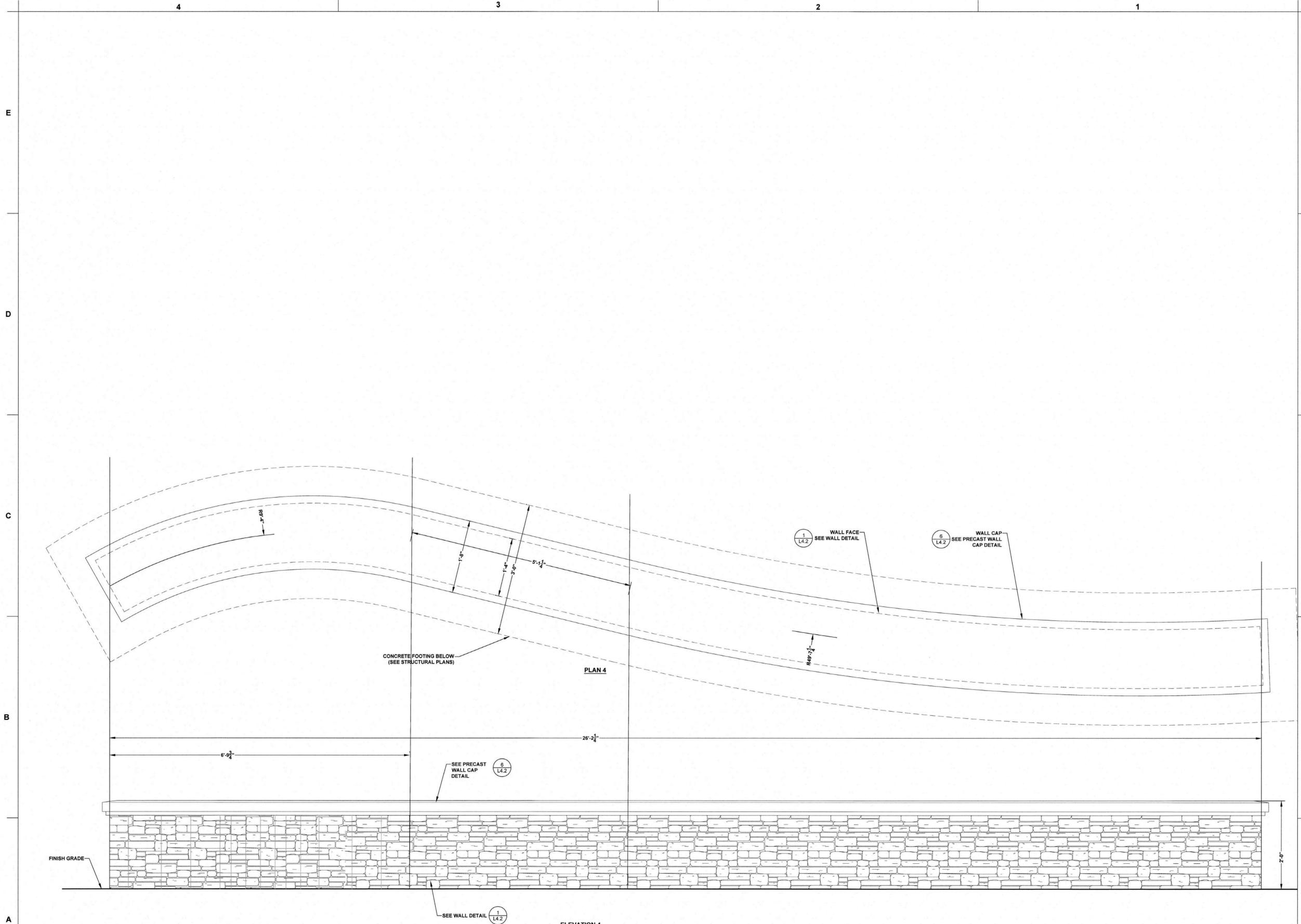
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FSU#1760

| REVISION SCHEDULE | | |
|-------------------|-----------|-----------------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

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SHEET ACCENT WALL DETAILS III

SHEET NUMBER
L-1.2



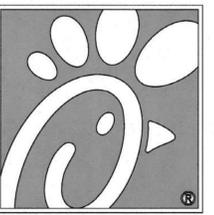
2 ACCENT WALL PLAN AND ELEVATION - WALL 4
L4.2 Scale: 1" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: SACRU Date: 8/13/2021
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: D. Gudman Date: 8/20/2021
Administrator



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 KNIGHTDALE, NC 27545
FSU#1760

CONSTRUCTION DOCUMENTS

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
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| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

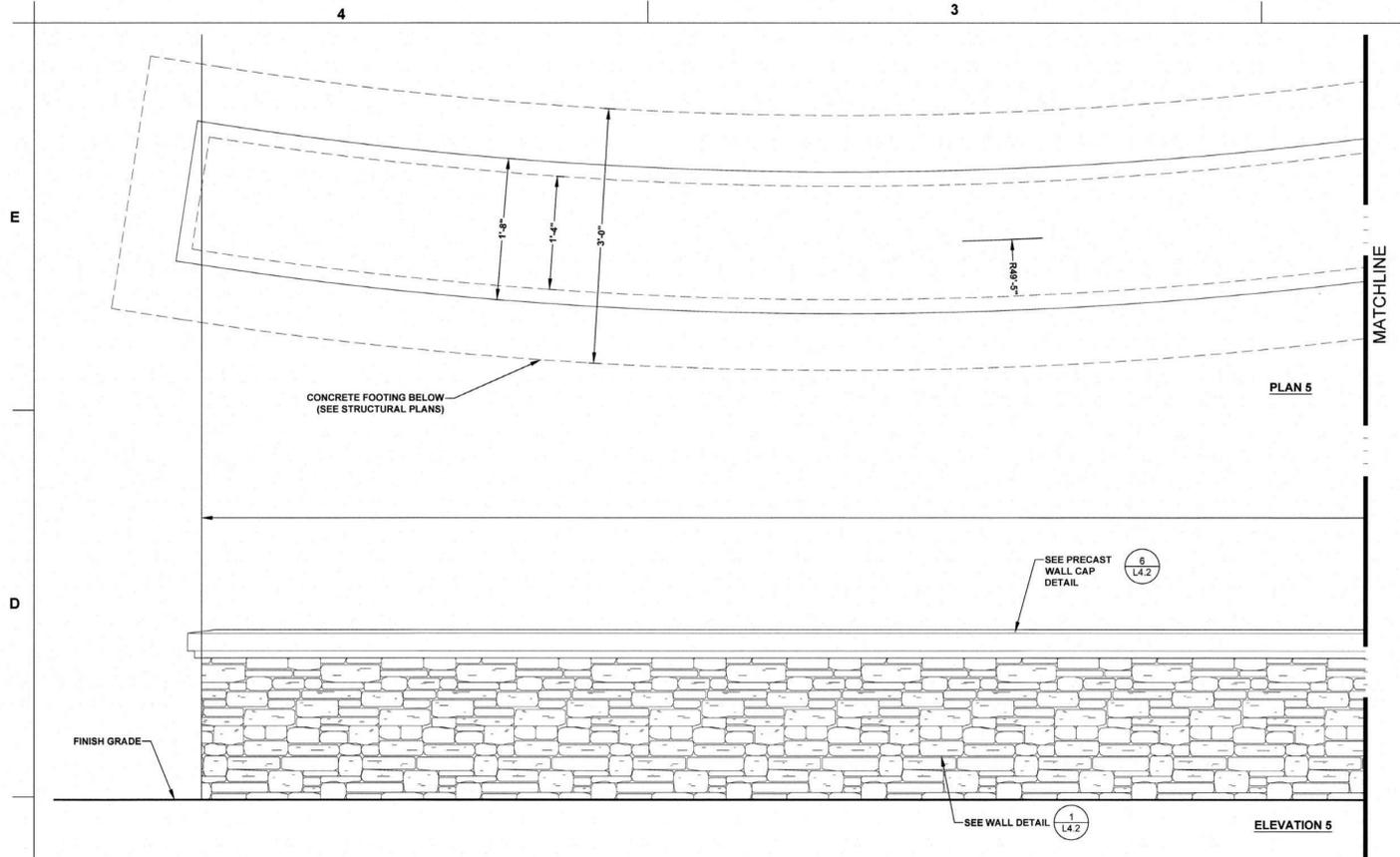
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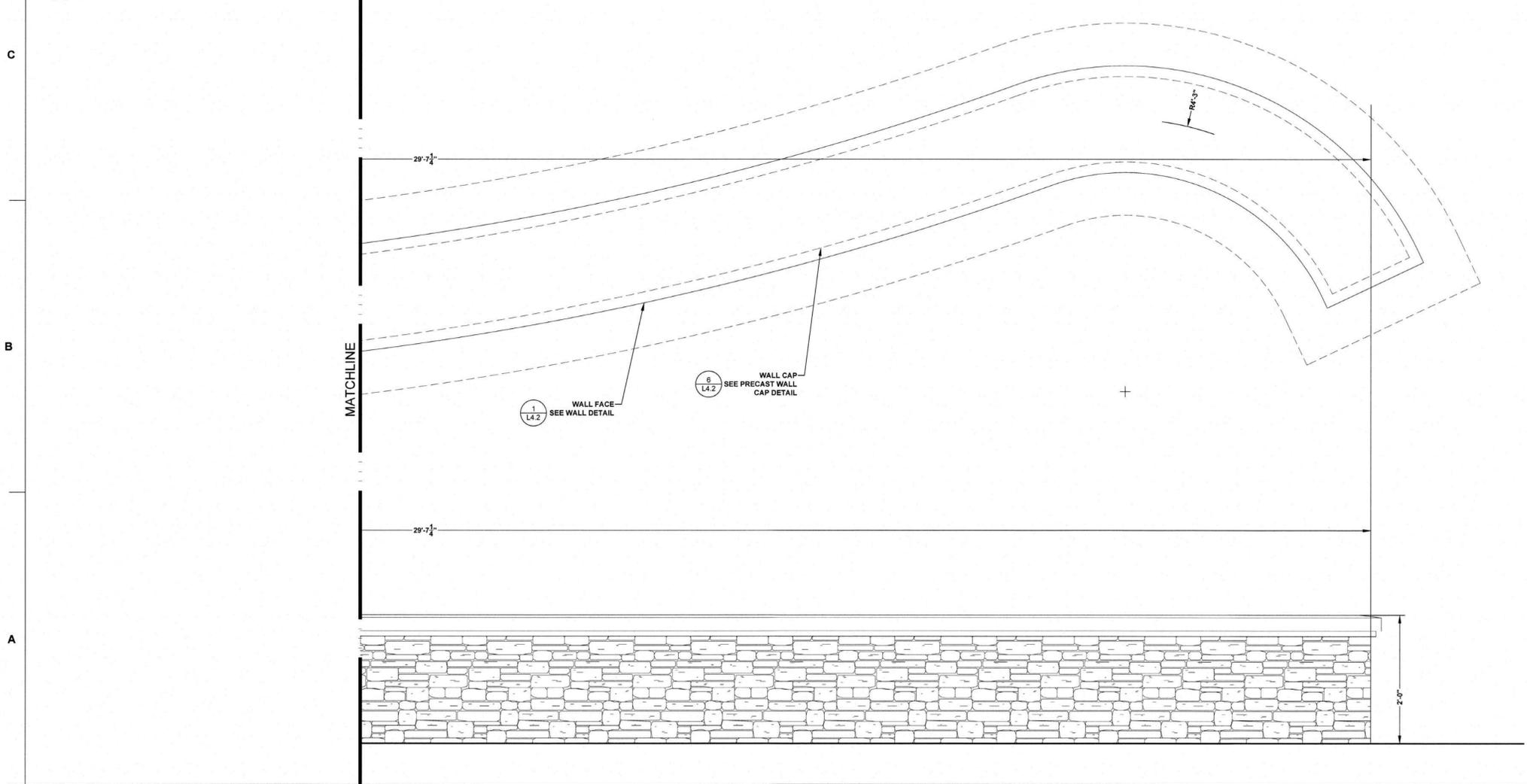
SHEET ACCENT WALL DETAILS IV

SHEET NUMBER

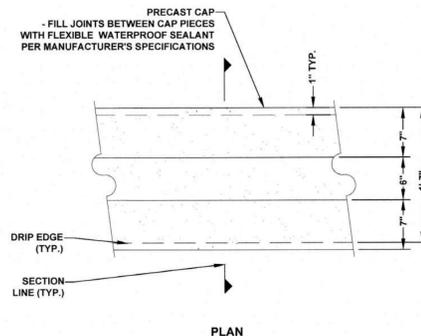
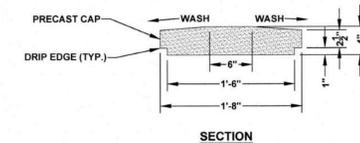
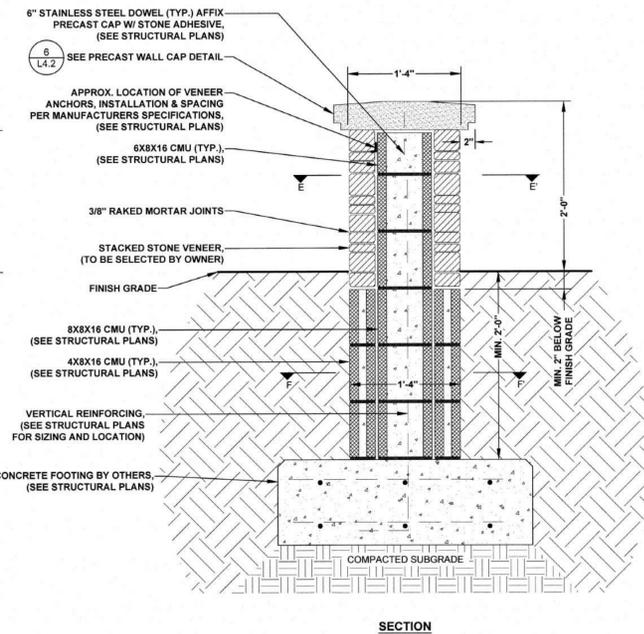
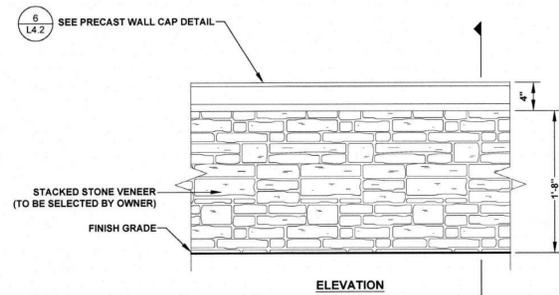
L-1.3



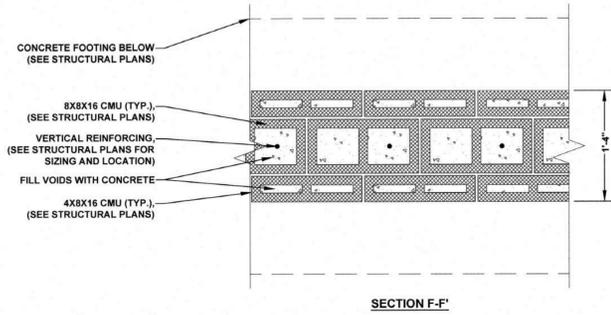
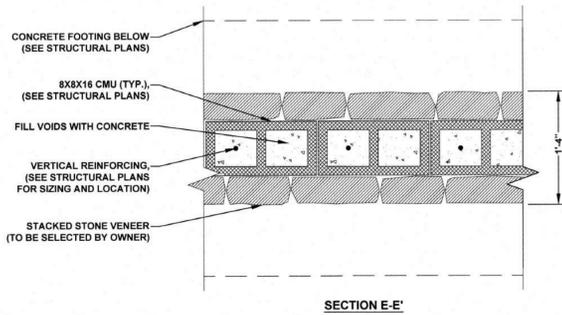
1 ACCENT WALL PLAN AND ELEVATION - WALL 5
 L4.3 Scale: 1" = 1'-0"



Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: [Signature] Date: 8/13/2021
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: [Signature] Date: 8/20/2021
 Administrator



1 WALL DETAIL
L4.4 Scale: 1" = 1'-0"



2 - WALL CMU SECTIONS
L4.4 Scale: 1" = 1'-0"

3 PRECAST WALL CAP DETAIL
L4.4 Scale: 1" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: [Signature] Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: [Signature] Date: 8/20/2021
Administrator



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5200 Buffington Road
Atlanta, Georgia 30349-2998



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6711 KNIGHTDALE BLVD.
KNIGHTDALE, NC 27545
FSU#1760

CONSTRUCTION DOCUMENTS

| NO. | DATE | DESCRIPTION |
|-----|-----------|-----------------------------|
| 1 | 6-15-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 2 | 7-12-2021 | TOWN OF KNIGHTDALE COMMENTS |
| 4 | 8-9-2021 | SIGNATURE SET |

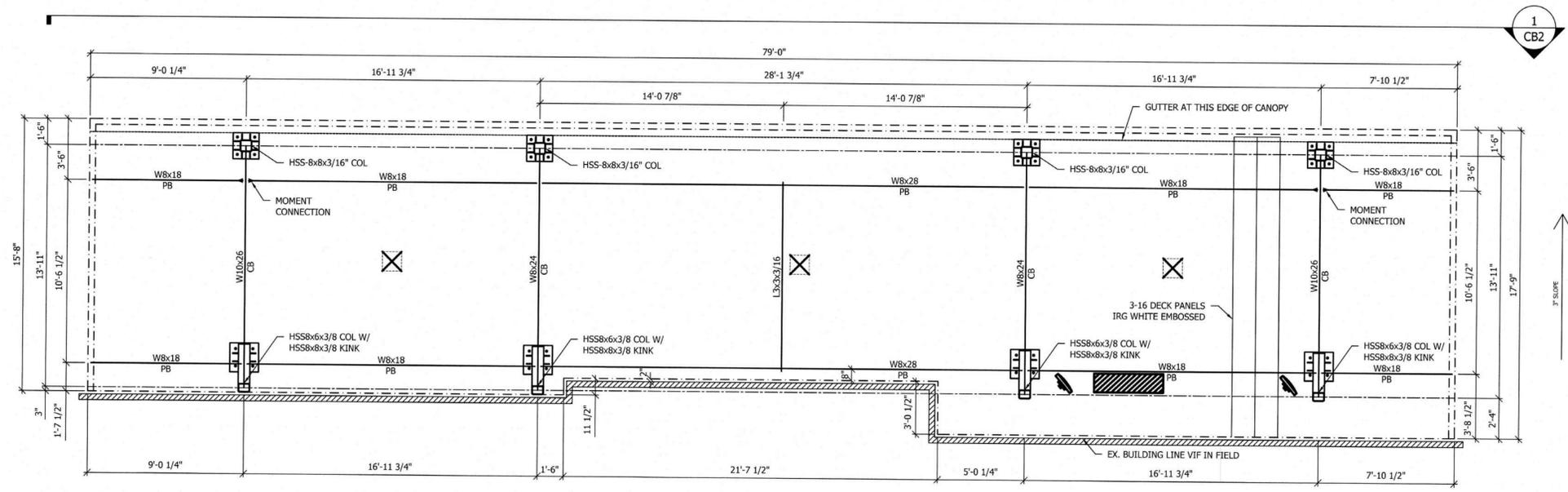
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DATE 5/18/21
DRAWN BY RMG

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SHEET ACCENT WALL DETAILS V

SHEET NUMBER

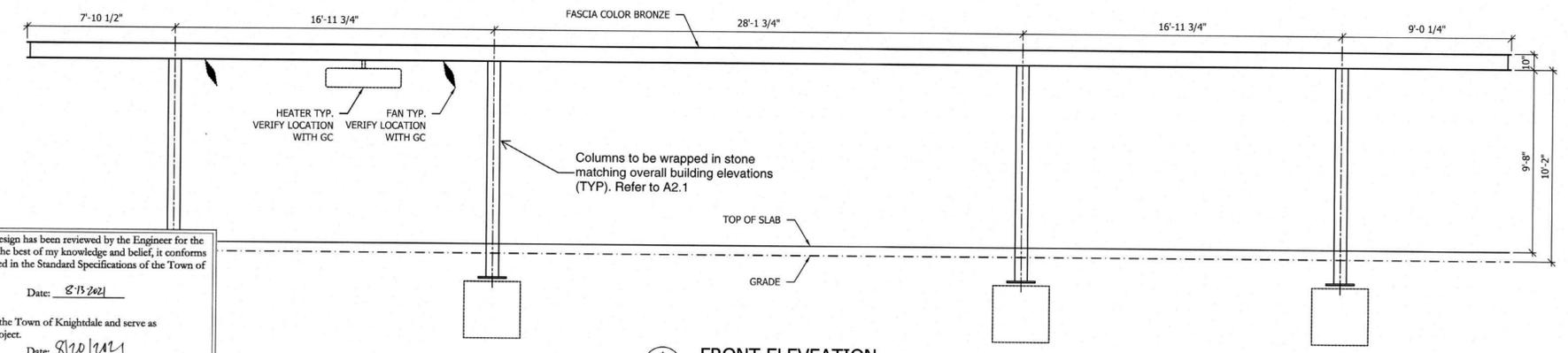
L-1.4



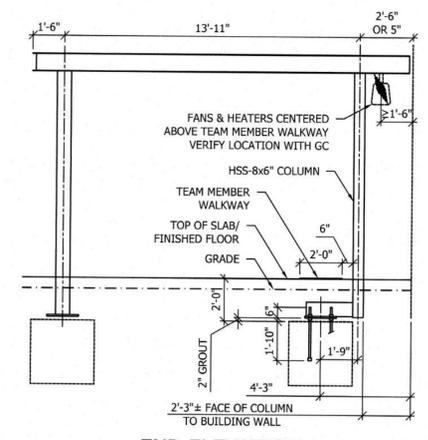
FRAMING PLAN
Scale: 1/4"=1'-0"

1
CB2

| REV. | DATE | BY | DESCRIPTION |
|------|------|----|-------------|
| | | | |
| | | | |
| | | | |



FRONT ELEVATION
Scale: 1/4"=1'-0"



END ELEVATION
Scale: 1/4"=1'-0"

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: [Signature] Date: 8-13-2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: [Signature] Date: 8/20/2021
Administrator

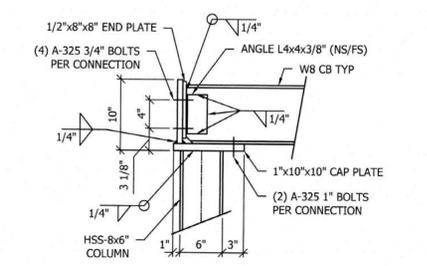
- STEEL NOTES**
- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. DESIGN, FABRICATION AND ERECTION OF COLD FORMED STEEL SECTIONS SHALL CONFORM TO THE LATEST AISI SPECIFICATIONS.
 - STRUCTURAL MATERIALS:
WIDE FLANGE SECTIONS - ASTM A992 OR A572 GRADE 50 (Fy = 50 KSI)
ANGLES / CHANNELS - ASTM A36 (Fy = 36 KSI)
HOLLOW STRUCTURAL SECTIONS (TUBE) - ASTM A500 GRADE B (Fy = 46 KSI)
PIPE SECTIONS - ASTM A53, GRADE B (Fy = 35 KSI)
PLATE - ASTM A36 (Fy = 36 KSI)
ROOF DECK - ASTM A653, GRADE 50 (Fy = 50 KSI), GALVANIZED (G60) WITH BAKED ENAMEL FINISH
STEEL OUTRIGGERS - ASTM A653 GR. CS (Fy = 25 KSI), GALVANIZED (G90) PER ASTM 924
STRUCTURAL BOLTS - ASTM A325
ANCHOR BOLTS - ASTM F1554 GR. 36
 - WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH LATEST ANSI / AWS D1.1
 - FIELD CONNECTIONS SHALL BE BOLTED CONNECTIONS UNLESS SPECIFIED ON DRAWING.
 - ALL STRUCTURAL BOLTED CONNECTIONS SHALL USE ASTM A325 BOLTS. BOLTED JOINTS SHALL BE TIGHTENED TO SNUG TIGHT PER LATEST RCSC SPECIFICATION.
 - STRUCTURAL STEEL SHALL BE SHOP COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER. FIELD TOUCH-UP, FINISH PAINTING, AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER (UNLESS OTHERWISE SPECIFIED).
 - DESIGN LOADS PER 2018 INTERNATIONAL BUILDING CODE WITH NC AMENDMENTS AND LOCAL REQUIREMENTS:

ROOF LIVE LOAD = 20 PSF
FLAT ROOF SNOW LOAD = 12.6 PSF + DRIFT @ ADJACENT BUILDING
BASED ON GROUND SNOW LOAD = 15 PSF
RAIN SURCHARGE = 5 PSF

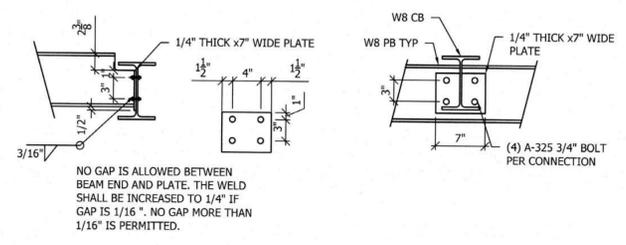
WIND LOADS:
LATERAL = 61.20 PSF (ULTIMATE)
UPLIFT = 22.90 PSF (ULTIMATE)
BASED ON 115 MPH 3 SECOND GUST WIND SPEED AND EXPOSURE 'C' PER ASCE 7-16.
RISK CATEGORY II

SEISMIC LOADS:
SEISMIC RISK CATEGORY II, SITE CLASS "D" ASSUMED, SEISMIC DESIGN CATEGORY "B"
Sds = 0.122g (Ss = 0.115g, Fa = 1.6), Sd1 = 0.093g (S1 = 0.058g, Fv = 2.4)
SEISMIC FORCE RESISTING SYSTEM IS INVERTED PENDULUM - CANTILEVERED COLUMN, R = 1.25
Cs = 0.098

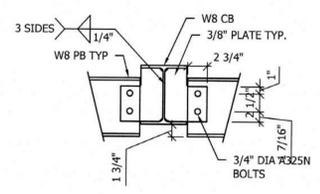
DEAD LOADS:
DECK / GUTTER / LIGHTS - 4.5 PSF
FASCIA - 4.5 PSF (PER DESIGN)
STRUCTURAL STEEL - SELF WT
CONCRETE - 150 PCF



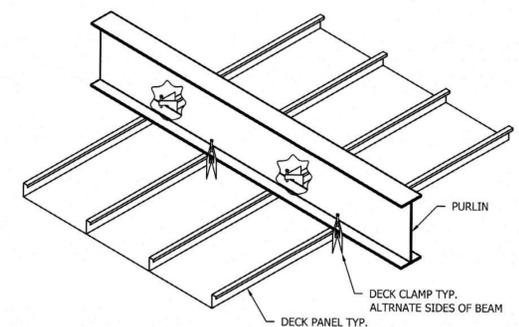
TYP. COLUMN / CROSSBEAM CONNECTION



TYP. CONTINUOUS PURLIN CONNECTION



TYP. INNER PURLIN CONNECTION



DECK CLAMP DETAIL



04/01/2021



Fashion

1019 E. North Street
Olathe, Kansas 66067
Phone: 785.242.8111
Fax: 785.242.2022

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SITE:
CHICK-FIL-A #1760
6711 KNIGHTDALE BLVD
KNIGHTDALE, NC

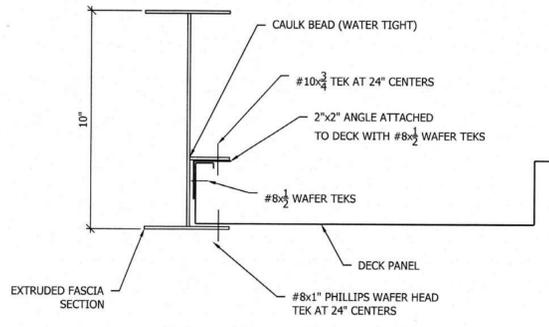
(8) COLUMN CANOPY
OMD CANOPY

SCALE: AS SHOWN DRAWN BY: JDG CHECKED BY: AP
JOB NUMBER: 61760.1

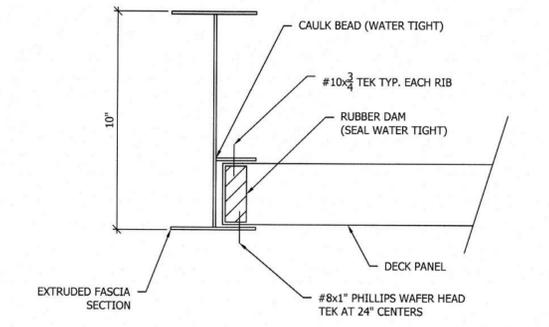
SHEET TITLE: **FRAMING PLAN**

SHEET NUMBER: CB2

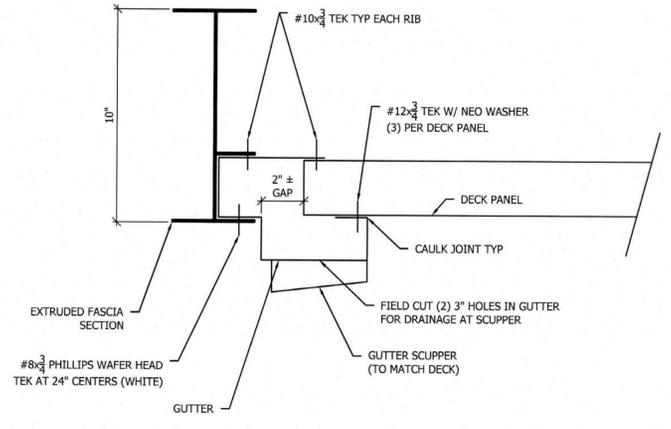
| REV. | DATE | BY | DESCRIPTION |
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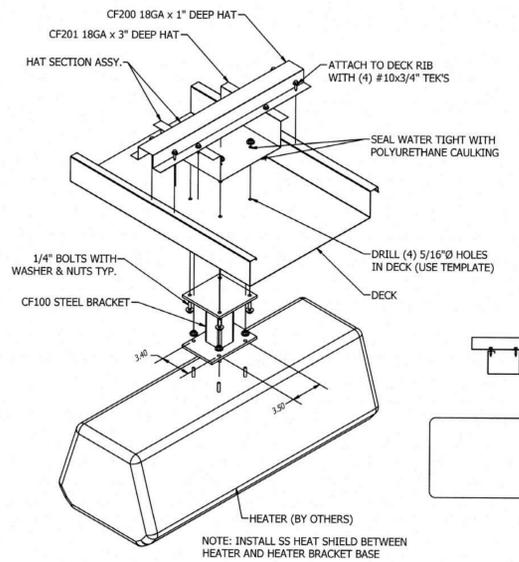
FASCIA SECTION (ENDS)



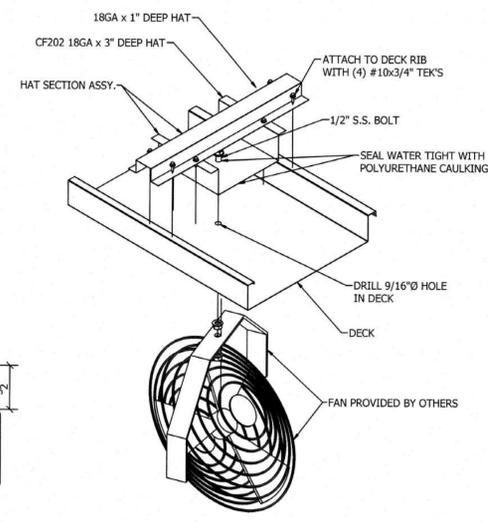
FASCIA SECTION (SIDE WITHOUT GUTTER)



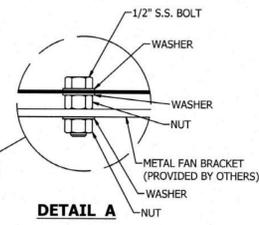
FASCIA / GUTTER SECTION W/O UNDERGROUND DRAINAGE



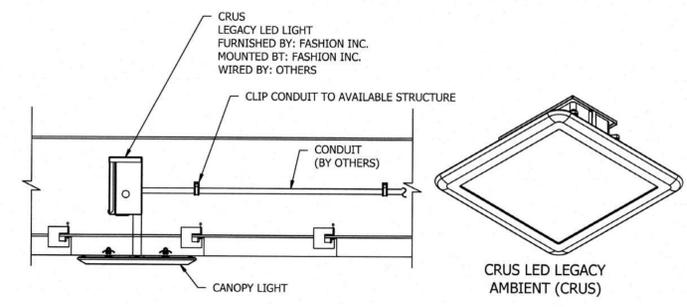
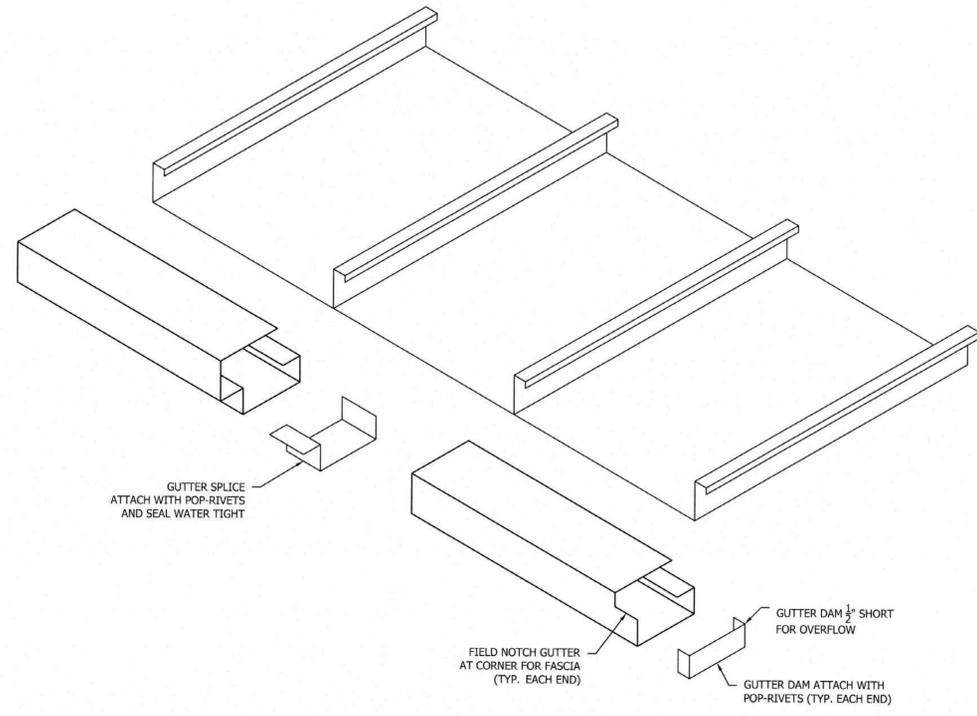
HEATER BRACKET DETAIL



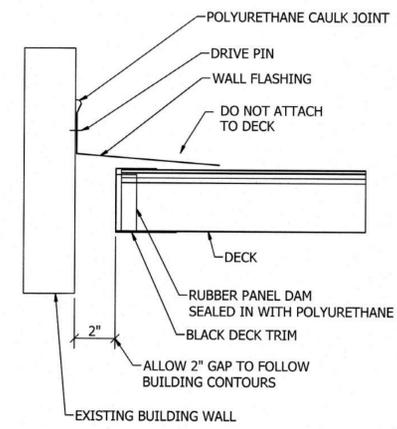
FAN BRACKET DETAIL



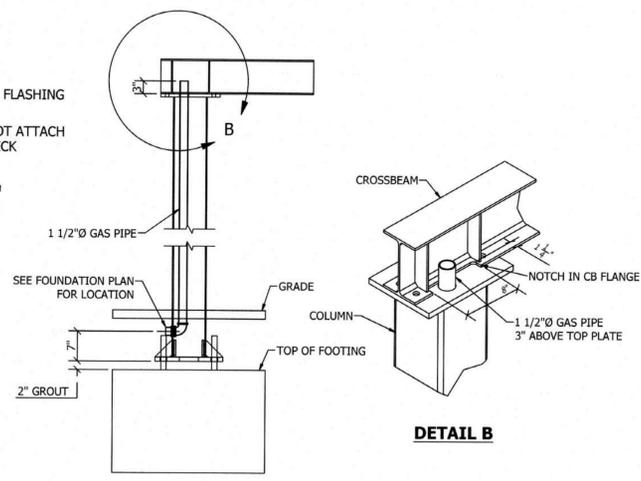
DETAIL A



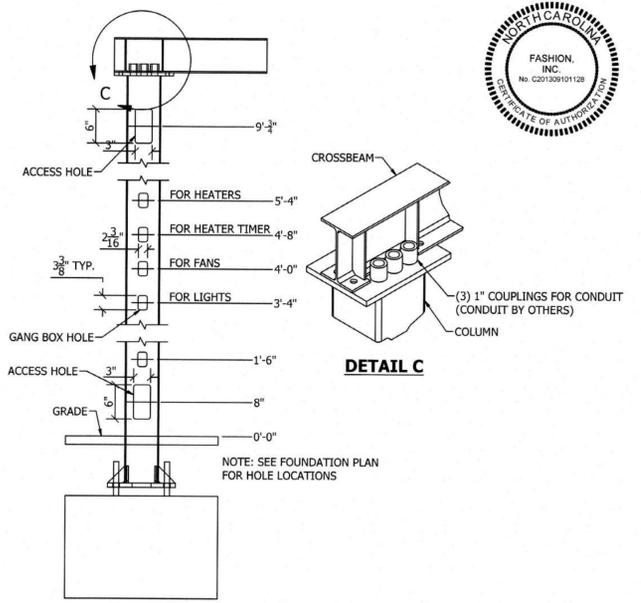
CANOPY LIGHT DETAIL



BUILDING FLASHING DETAIL



GAS PIPE DETAIL



ACCESS HOLE / GANG BOX HOLE DETAIL

a. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: *[Signature]* Date: 8/13/2021
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: *[Signature]* Date: 8/20/2021
 Administrator



1019 E. North Street
 Ottawa, Kansas 66067
 Phone: 785.242.8111
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SITE:
CHICK-FIL-A #1760
6711 KNIGHTDALE BLVD
KNIGHTDALE, NC
(8) COLUMN CANOPY
OMD CANOPY

SCALE: AS SHOWN
 DRAWN BY: JDG
 CHECKED BY: AP
 JOB NUMBER: 61760.1

SHEET TITLE:
STANDARD DETAILS

SHEET NUMBER:
CB3

Technical datasheet No.: 1151.16
 Product: VALMEX® FR 900 MEHATOP F1 - type II
 Article No.: 7211 5246

| Type of coating and finish | |
|----------------------------|---|
| Type of coating | PVC |
| Finish | Multi-component PVDF-Resin system on both sides, Titaniumdioxide (TiO2) front side primer, low-etch, protected against microbial and fungal attack, UV protection |
| Burning behaviour | EN 13501: Euroclass T1, DIN 4102: B1, GGBK, DIN 4102: B1, NFPA 704: Test 2, D.M. 26.06.84 (UNI 9177): Cl. 2, EN 13501-1: B-s1-d0, NFPA 290: 2, (Colour index): AS 1535 part 3, AS 1535 part 3 |
| For burning behaviour | always check the validity of fire certificate |
| Tensile Weight | 26.5 oz./sq. yd. ASTM D-751 10 |
| Strip Tensile (average) | 450 / 430 lbs. / in. ASTM D-751 Procedure B |
| Tongue Tear | 150 / 150 lbs. ASTM D-751 (8" x 10") Specimen |
| Adhesion | 14 lbs. / in. ASTM D-751 RF Weld |
| Low Temperature | -40 °F ASTM D-2130 |
| High Temperature | 158 °F PA 27.54 (min) |
| Light fastness | >6 None, Value ISO 105 B02 |
| Crack resistance | no crack 100000 x DIN 53309 A |
| Base fabric | PES low-retch DIN EN ISO 2076 |
| Material | 1000 den. DIN EN ISO 2080 |
| Yarn count | P 212 |
| Remarks | suitable without grinding and with common welding equipment. All values and T102 content related to standard white color |

These indicated technical data are based on average results. Due to production procedures deviations up to ±5% can occur. All technical data are in accordance with the present standard of knowledge and give product information without legal binding. All data apply to new products. Applications requested do not release the customer to last material for its intended application.

Progress through performance QM-0715-0808 VALB
 A Low&Bonar solution EA007-0698 Date 02.02.2017

DESIGN CRITERIA
 2018 NORTH CAROLINA BUILDING CODE
DEAD LOAD:
 FABRIC: 0.20 PSF
SNOW LOAD:
 GROUND SNOW LOAD: 15 PSF
 ROOF SNOW LOAD: 15 PSF
 SNOW EXPOSURE FACTOR: 1.0
 SNOW LOAD IMPORTANCE FACTOR: 1.0
 THERMAL FACTOR: 1.2
LIVE LOAD:
 ROOF LIVE LOAD: 5 PSF
WIND LOAD:
 FRAME WITH FABRIC: 116 MPH
 FRAME WITHOUT FABRIC: 116 MPH
 WIND IMPORTANCE FACTOR: 1.0
 WIND EXPOSURE CATEGORY: C
 GUST EFFECT FACTOR: 0.89
SEISMIC DESIGN:
 SEISMIC LOAD DOES NOT CONTROL THE DESIGN BASED ON THE ASSUMPTION THAT THE FABRIC HAS NEGLIGIBLE MASS

OWNER NOTES
 1. FABRIC MEMBRANE(S) MUST BE REMOVED IF LIVE LOAD/ROOF SNOW LOAD IS EXPECTED TO EXCEED 15 PSF AND/OR THE WIND SPEED IS EXPECTED TO EXCEED A NOMINAL DESIGN WIND SPEED OF 86 MPH OR 76 MPH SUSTAINED WIND LOAD TO PREVENT DAMAGE.
 2. THE OWNER ACCEPTS FULL RESPONSIBILITY OF REMOVING THE FABRIC FROM THE STEEL FRAME WHEN ANY OR ALL OF THESE CONDITIONS MAY OCCUR.
 3. THE STEEL STRUCTURE WITH THE FABRIC REMOVED, WAS DESIGNED TO WITHSTAND DEAD LOADS, ROOF LIVE LOADS, SNOW LOADS AND WIND SPEEDS AS SPECIFIED ABOVE PER THE LOCAL CODE REQUIREMENTS. IF THE ABOVE LOADS ARE EXCEEDED OR ADDITIONAL LOADS ARE INTRODUCED STRUCTURAL FAILURE MAY OCCUR. THE OWNER IS RESPONSIBLE FOR AND ACCEPTS FULL LIABILITY FOR ANY ISSUES CAUSED BY EXCEEDING THE DESIGN CRITERIA LOADS.

GENERAL NOTES
 1. FABRIC MEETS NFPA 701-10.
 2. ALL EXPOSED STEEL TO BE POWDERCOATED.

FOUNDATION DESIGN
 CONCRETE COMPRESSIVE STRENGTH AFTER 28 DAYS: 3,000 PSI
 STEEL REINFORCEMENT: ASTM-A615, GRADE 60
 ASSUMED VERTICAL FOUNDATION PRESSURE: 1,500 PSF
 ASSUMED LATERAL BEARING PRESSURE: 100 PSF/F
 THE VERTICAL AND LATERAL BEARING PRESSURE VALUES WERE CONSIDERED PER CONDITIONS OF CURRENT BUILDING CODE.

FOUNDATION NOTES:
 1. THE FOUNDATION DESIGN IS BASED ON TABLE 1806.2 OF THE INTERNATIONAL BUILDING CODE. CLASS 5 SOIL MATERIAL.
 2. IF THE FOOTING DEPTH DOES NOT MEET LOCAL FROST REQUIREMENTS, FOOTINGS SHALL BE RE-DESIGNED UNDER THE DIRECTION OF AN ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCAL FROST DEPTH.

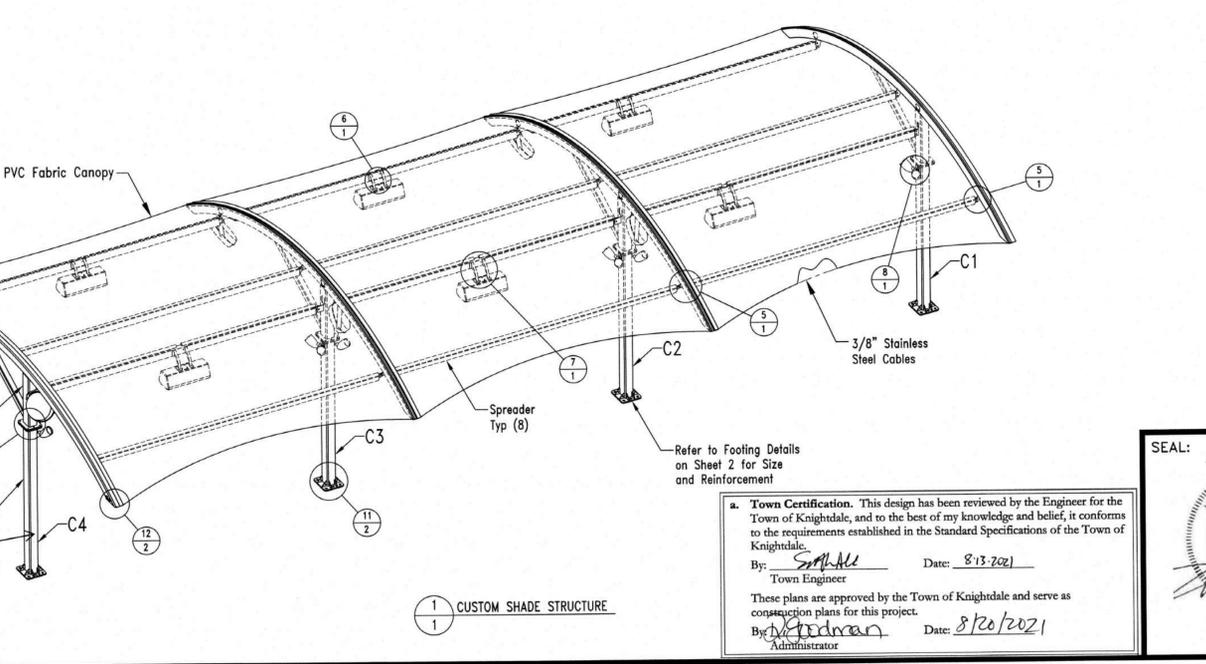
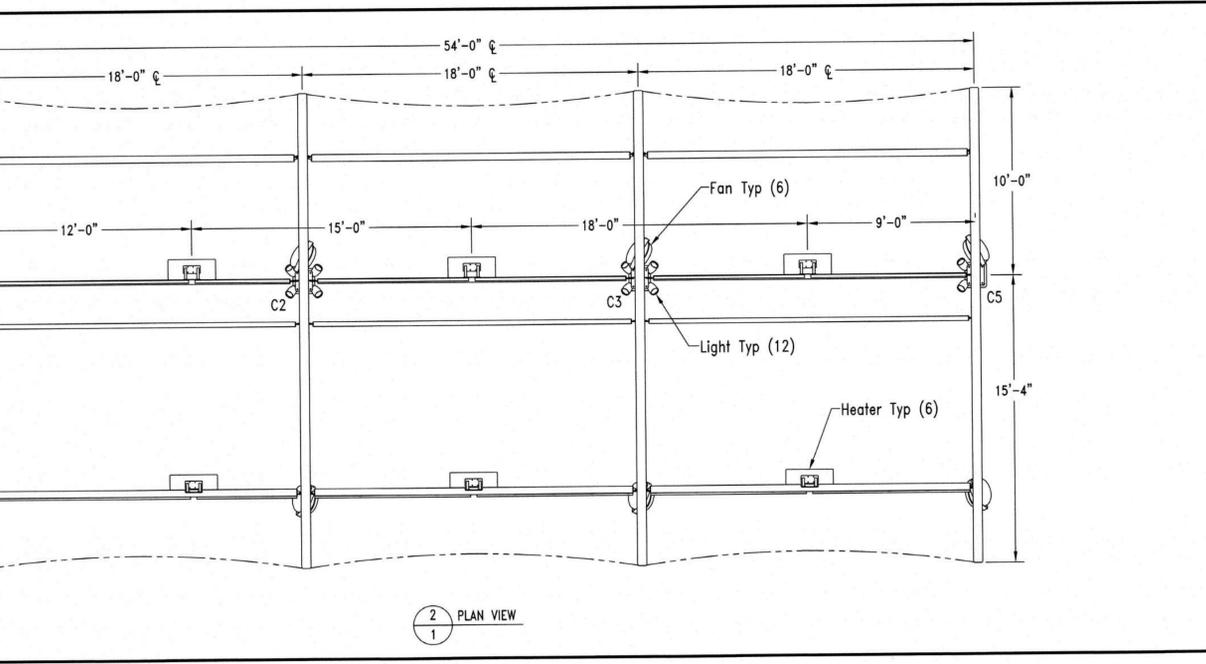
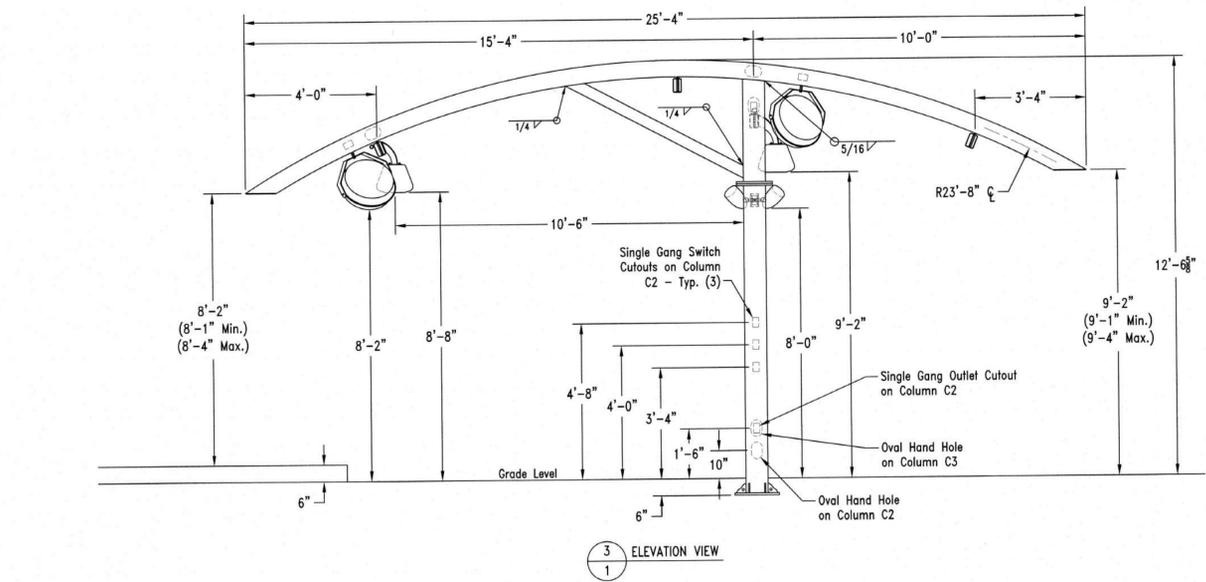
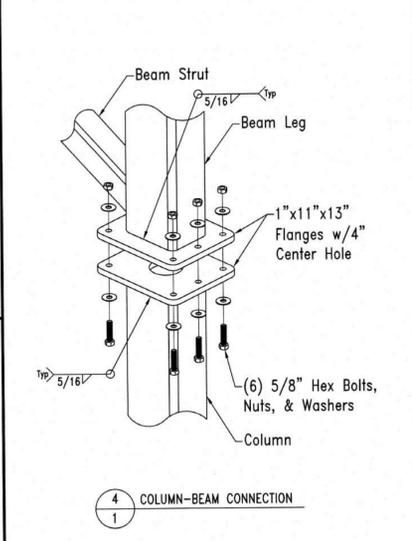
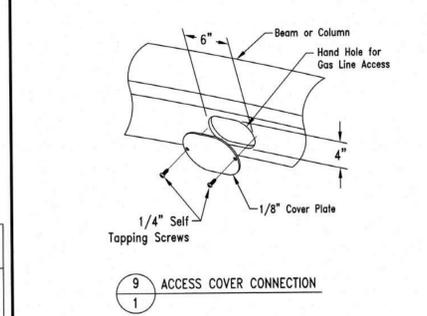
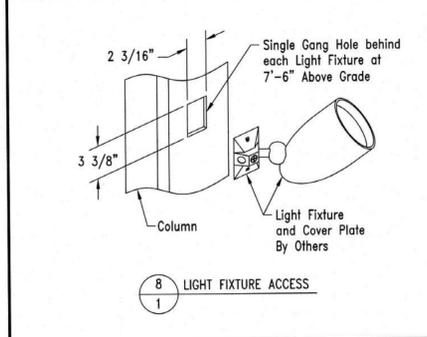
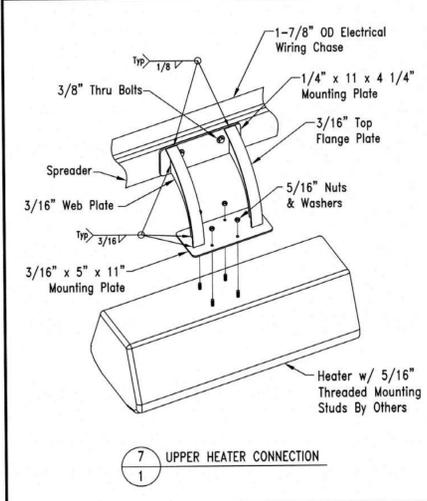
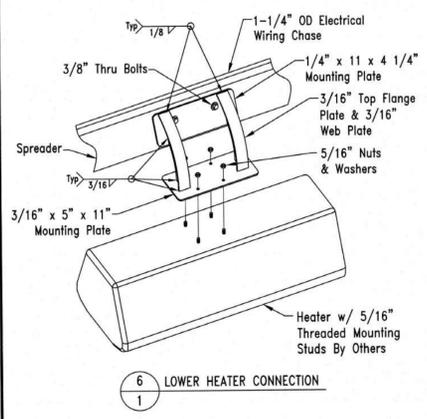
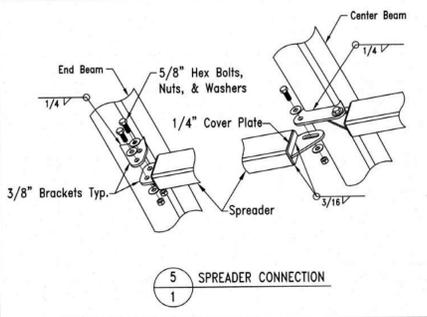
MATERIALS
 1. ALL MATERIALS LISTED BELOW MAY NOT BE SPECIFIC TO THIS PROJECT.

| MEMBER TYPE | ASTM | MIN. YIELD STRENGTH |
|-----------------------------|-----------------|---------------------|
| W SHAPES | A992 | 50 KSI |
| RECTANGULAR HSS TUBES | A500(GRADE B) | 46 KSI |
| SQUARE HSS TUBES | A500(GRADE B) | 46 KSI |
| ROUND HSS TUBES | A500(GRADE B) | 42 KSI |
| SCHEDULE PIPE | A500(GRADE B&C) | 50 KSI |
| ROUND MECHANICAL TUBING | A519 | 45 KSI |
| MISCELLANEOUS PLATES/SHAPES | A36 | 36 KSI |
| CONNECTION BOLTS | F593 | 45 KSI |
| HEADED ANCHOR BOLTS | F1554 | 36 KSI |
| HOOKED ANCHOR BOLTS | A307 | 36 KSI |

3/8" STAINLESS AIRCRAFT CABLE SHALL HAVE A NOMINAL STRENGTH OF 12,000 LBS.

TABLE 1

| STRUCTURE | EAVE HEIGHT | COLUMN & BEAM LEG SIZE | BEAM SIZE | STRUT SIZE | SPREADER SIZE | FOOTING SIZE & REINF. |
|----------------------------|-------------------|------------------------|-------------------|-------------------|-------------------|-----------------------|
| 54' x 25'-4" Custom Canopy | 9'-0" Above Grade | 8" x 6" 3/8" Wall | 6" x 6" 3/8" Wall | 4" x 4" 1/4" Wall | 5" x 4" 1/4" Wall | As Per Sheet 2 |



Columns to be wrapped in stone matching overall building elevation (TYP).

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: *[Signature]* Date: 8/13/2021
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: *[Signature]* Date: 8/20/2021
 Administrator



SUPERIOR RECREATIONAL PRODUCTS Shade
 Superior Shade
 150 Adamson Industrial Blvd.
 Carrifton, GA 30117

STATE OF NORTH CAROLINA
 Chick-fil-A
 Store# 1760 - Knightdale
 6711 Knightdale Blvd.
 Knightdale, NC 27545

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Revisions:
 Date: By:

Drawn: K. Keithley
 Date: 6/1/2021
 Chkd:
 Date:

#222673

1
 Sheet No.

40 KEY NOTES:

1. NEW ALUMINUM STOREFRONT DELIVERY DOOR, MATCH EXISTING STOREFRONT SYSTEM. PROVIDE CARD READER ON EXTERIOR FOR EMPLOYEE ACCESS.
2. NEW DELIVERY DOOR BY TORMAX AUTOMATIC, REFER TO DOOR SCHEDULE AND MANUFACTURER DETAIL. EXISTING STUCCO AND STONE VENEER TO REMAIN.
3. NEW LOCATION OF GAS METER AND LINE, PAINT PT-9
4. REMOVE EXISTING CANOPIES & SOFFITS IN THIS REGION. REMOVE EXISTING FINISHES, REPAIR ANY DAMAGE AND PREPARE WALL FOR NEW FINISHES AND AWNINGS. ADD SHEATHING WHERE REQUIRED. SEE DETAILS ON A-3.1
5. EXISTING FABRIC AWNING TO REMAIN
6. NEW FABRIC AWNING PROVIDED & INSTALLED BY UNISTRUCTURES. COORD. WITH SHOP DRAWINGS, REFER TO SHEET A3.1 FOR BLOCKING HEIGHTS
7. NEW CANOPY PROVIDED AND INSTALLED BY UNISTRUCTURES, REFERENCE SHEET A3.2. COORDINATE WITH SHOP DRAWINGS
8. NEW METAL COPING PRE-FINISHED TO MATCH PT-9 DARK BRONZE. PROVIDE FLASHING PER MANUFACTURER'S SPEC. WHERE ADJACENT TO EXIST. COPING
9. MASONRY EXPANSION JOINT, MIN. 1" WIDTH WITH FOAM BACKER ROD AND SEALANT, FULL HEIGHT OF WALL, MATCH EXPANSION JOINT COLOR TO THE MORTAR COLOR. REFER TO 4A3.2
10. MASONRY CONTROL JOINT, PROVIDE JOINT AT 48" FROM CORNER WHEN WALL LENGTH IS GREATER THAN 12'-0"; SEE 5/A3.1
11. NEW STUCCO OVER METAL LATH TO MATCH EXISTING, REFER TO EXTERIOR FINISH SCHEDULE
12. FIELD STONE VENEER STN-2, SEE STONE SPECIFICATIONS FOR MANUFACTURER AND COLOR, G.C. TO VERIFY "MATCH" PRIOR TO ORDERING
13. STONE WAINSCOT SILL, STN-2, HEIGHT AND OFFSETS TO MATCH EXISTING
14. NEW STUCCO BAND TO MATCH EXISTING
15. CONTINUOUS COATED STUCCO FOAM CORNICE, HEIGHTS AND OFFSETS TO MATCH EXISTING

16. NEW OVERFLOW SCUPPER, REFER TO A1.4, PAINT TO MATCH STUCCO FINISH
17. NEW CONDUCTOR HEAD & DOWNSPOUT, PREPARE OPENING FOR NEW PIPING AS SHOWN, G.C. TO ENSURE WATERTIGHT CONNECTION OF SYSTEM, REFER TO PLUMBING SHEETS AND A1.4, PAINT PT-9
18. NEW LOCATION FOR RELOCATED LIGHTING, MOUNTING HEIGHT TO MATCH EXISTING, COORDINATE WITH IN FIELD CONDITIONS AND ELECTRICAL SHEETS
19. PROVIDE NEW EXTERIOR RADIUS LED WALL SCONCE, COORDINATE WITH IN FIELD CONDITIONS AND ELECTRICAL SHEETS
20. NEW EXTERIOR DAYLIGHT WINDOW, REFER TO A4.4 FOR ADDITIONAL INFORMATION
21. NEW LOCATION OF ELECTRICAL UTILITIES, G.C. TO COORDINATE FINAL LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS AS WELL AS AUTHORITY HAVING JURISDICTION
22. NEW LOCATION OF EXISTING SIGNAGE, COORDINATE WITH CHICK-FIL-A C.M. AND CLAYTON SIGNS REGARDING REFURBISHMENT OF EXISTING SIGNAGE, REPAIR BUILDING FACE AS REQUIRED TO MAKE "LIKE-NEW" CONDITION
23. NEW ODM TIER 3 CANOPY PROVIDED AND INSTALLED BY LANE SUPPLY, INC. COORDINATE WITH SHOP DRAWINGS, CANOPY FACIA AND COLUMNS TO BE MATTE BLACK, TEXTURED (SMOOTH FINISH UPON APPROVAL, GUTTER AND DECK PANELS TO BE SMOOTH WHITE, HIGH GLOSS
24. EXISTING STUCCO AND STONE VENEER TO REMAIN

50 EXTERIOR FINISH SCHEDULE:

- STN-1: EXISTING STONE VENEER TO REMAIN
- STN-2: FIELD STONE #2 ELDORADO STONE VENEER G.C. TO VERIFY & "MATCH" EXISTING COLOR. STACKED STONE "CASTAWAY" G.C. TO VERIFY "MATCH" PRIOR TO ORDERING
- SC-1: PAINT EXISTING STUCCO FINISH PT-23B
- SC-2: PAINT STUCCO FINISH TO MATCH SC-1 - G.C. TO VERIFY "MATCH" PRIOR TO ORDERING, SUBMIT TO OWNERS REP. FOR APPROVAL
- LHT-1: NEW EXTERIOR WALL SCONCE, FIXTURE "OL"
- LHT-2: NEW EXTERIOR WALL SCONCE, FIXTURE "OA"
- LHT-3: EXISTING WALL PACK TO BE RELOCATED, FIXTURE "OK"
- LHT-4: NEW EXTERIOR WALL WASHER, FIXTURE "OJ"
- SGN-1: EXISTING WALL SIGN TO REMAIN
- EC-1: PARAPET METAL, WALL COPING, COLOR DARK BRONZE (MATTE)
- HMDF: HOLLOW METAL DOOR & FRAME BY ZIGMAN PRODUCTS COMPANY, DARK BRONZE
- AW-2: NEW FABRIC AWNING - SUNBRELLA FABRIC (4684-000, SLATE)
- A-1: ALUMINUM AWNING - COVERED, COLOR BLACK, SIZE V.I.F.
- PT-2: SHERWIN WILLIAMS, PRO INDUSTRIAL MLT-SURFACE ACRYLIC COATING, SW6256 "TRICOBY BLACK", USED WITH SW PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER
- PT-23B: SHERWIN WILLIAMS, PRO INDUSTRIAL MLT-SURFACE ACRYLIC COATING, SW6105 "LATTE", USED WITH SW LOXON CONDITIONER UNIVERSAL PRIMER
- PT-9: EXTERIOR PAINT MISCELLANEOUS METALS, SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR: DARK BRONZE, SEMI-GLOSS FINISH
- PT-7: EXTERIOR PAINT REFUSE ENCLOSURE, SHERWIN WILLIAMS - #SW2807 "ROCKWOOD (MEDIUM BROWN)" SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS
- ST-1: EXISTING STOREFRONT TO REMAIN. REPLACE PUSH/PULL HARDWARE WITH CLEAR, ANODIZED HARDWARE ON STOREFRONT DOORS.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: S. M. Hill Date: 3/13/2021
Town Engineer

By: D. Goodman Date: 8/20/2021
Administrator

These plans are approved by the Town of Knightdale and serve as construction plans for this project.



Chick-fil-A

**5200 Buffington Road
Atlanta, Georgia 30349**



**ARCHITECTURE
ENGINEERING**

3680 Pleasant Hill Road
Suite 200
Duluth, Georgia 30096
p: 770.622.9858
f: 770.622.9535
www.hillfoleyrossi.com

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CHICK-FIL-A
Knightdale
6711 Knightdale Blvd.
Knightdale, NC 27545

FSR#01760
BUILDING TYPE / SIZE: S06C-R
RELEASE: v12.2020

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

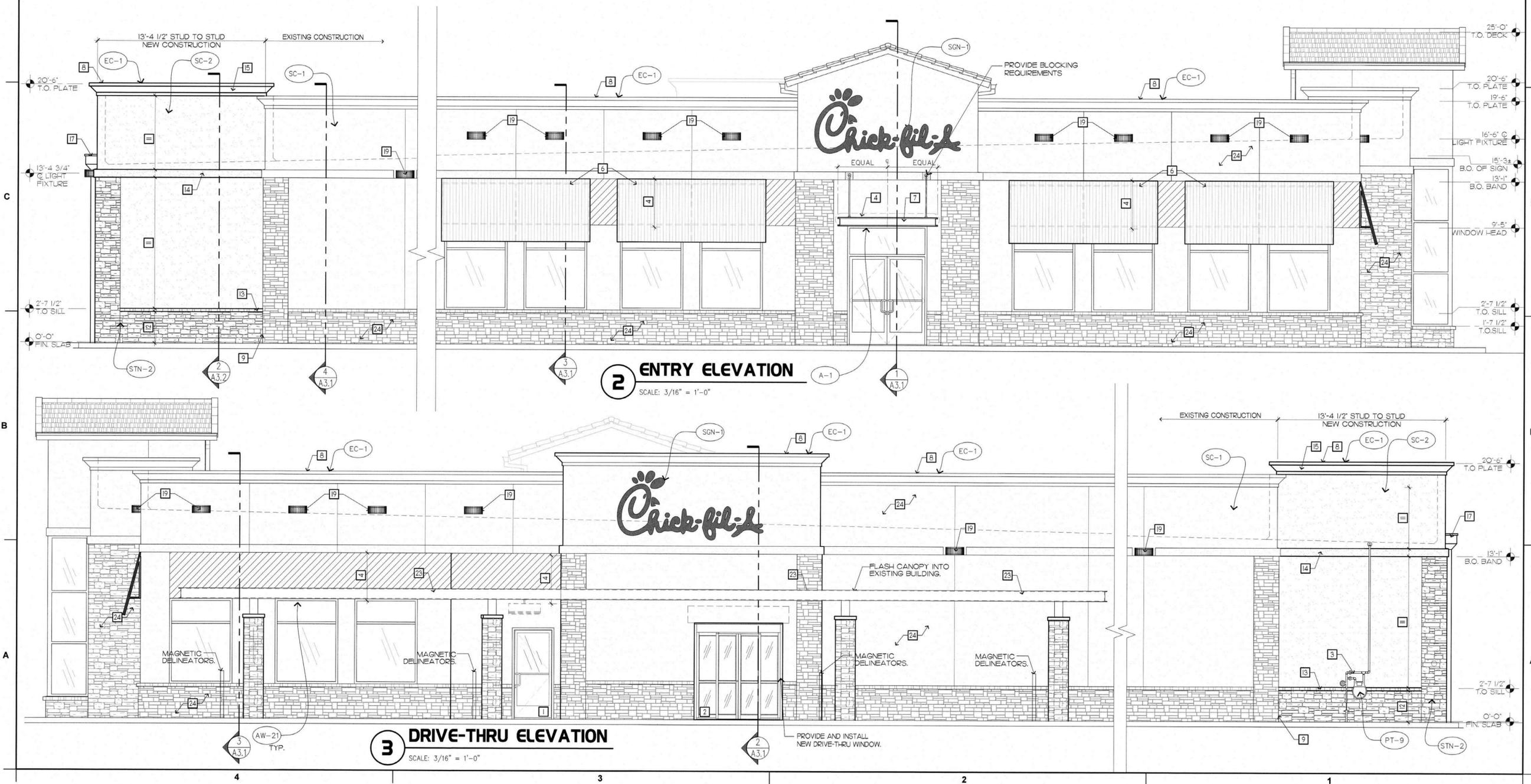
CONSULTANT PROJECT # 19.414.00
PRINTED FOR Permit
DATE 05.06.2021
DRAWN BY BJP

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SHEET
Exterior Elevations

SHEET NUMBER

A2.2



10 GENERAL NOTES

- G.C. TO VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF DEMOLITION. NOTIFY CHICK-FIL-A CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
- REFER TO CIVIL DRAWINGS FOR FINISH GRADES.
- PROVIDE BLOCKING FOR ALL NEW EXTERIOR WALL MOUNTED LIGHT FIXTURES.
- PAINT ALL WOOD AND METALS EXPOSED TO THE EXTERIOR.
- EVALUATE AND REPAIR ALL EXISTING ROOFING AS REQUIRED.
- REPAIR ALL ROOFS AND FLASHINGS THAT REMAIN AS REQUIRED.
- ALL NEW BRICK SHALL MATCH EXISTING SIZE, PATTERN AND COLOR INCLUDING ROWLOCK COURSE AND SOLDIER COURSE.
- MORTAR COLOR SHALL MATCH EXISTING MORTAR COLOR.
- FOR SITE METALS, USE PAINT COLOR PT-9 INSIDE CURB LINE AND PAINT COLOR PT-9 OUTSIDE CURB LINE TYP.
- COORDINATE SIGNAGE REPLACEMENT / UPGRADES WITH CLAYTON SIGNS. ANY NEW SIGNAGE SHALL REQUIRE A SEPARATE SIGN PERMIT.

20 TERMITE TREATMENT

- NATIONAL ACCOUNT TO PRE-TREAT SLABS - TERMINIX, ACCOUNTANT REPRESENTATIVES ROSA NEWELL 1-800-238-6189 EXT #1910 - E-MAIL: RNEWELL@TERMINIX.COM (PRIMARY), HOWARD STRELSIN 1-800-238-6189 EXT #1725 - E-MAIL: HSTRELSIN@TERMINIX.COM (SECONDARY).
- PROCEDURE
 - GENERAL CONTRACTOR SHALL CONTACT ACCOUNT REPRESENTATIVE 58 TO 72 HOURS BEFORE THE SLAB IS TO BE PLACED.
 - PROVIDE THE PROJECT ADDRESS, CFA STORE NUMBER, SQUARE FOOTAGE OF AREA TO BE TREATED AND BILLING ADDRESS OF THE GENERAL CONTRACTOR.
 - AFTER FINAL GRADING WORK HAS BEEN COMPLETED CONTACT THE ACCOUNT REPRESENTATIVE AND TERMINIX WILL TREAT ALL UNDER SLAB AREA.
 - TERMINIX WILL FORWARD A COPY OF THE TREATMENT CERTIFICATE TO CFA HOME OFFICE AND THE GENERAL CONTRACTOR.

40 KEY NOTES:

- NEW ALUMINUM STOREFRONT DELIVERY DOOR, MATCH EXISTING STOREFRONT SYSTEM. PROVIDE CARD READER ON EXTERIOR FOR EMPLOYEE ACCESS.
- NEW DELIVERY DOOR BY TORMAX AUTOMATIC, REFER TO DOOR SCHEDULE AND MANUFACTURER DETAILS EXISTING STUCCO AND STONE VENEER TO REMAIN.
- NEW LOCATION OF GAS METER AND LINE, PAINT PT-9.
- REMOVE EXISTING CANOPIES & SOFFITS IN THIS REGION. REMOVE EXISTING FINISHES, REPAIR ANY DAMAGE AND PREPARE WALL FOR NEW FINISHES AND AWNINGS. ADD SHEATHING WHERE REQUIRED. SEE DETAILS ON A-31.
- EXISTING FABRIC AWNING TO REMAIN.
- NEW FABRIC AWNING PROVIDED & INSTALLED BY UNISTRUCUTURES, COORD. WITH SHOP DRAWINGS, REFER TO SHEET A31 FOR BLOCKING HEIGHTS.
- NEW CANOPY PROVIDED AND INSTALLED BY UNISTRUCUTURES, REFERENCE SHEET A3.2, COORDINATE WITH SHOP DRAWINGS.
- NEW METAL COPING PRE-FINISHED TO MATCH PT-9 DARK BRONZE. PROVIDE FLASHING PER MANUFACTURER'S SPEC. WHERE ADJACENT TO EXIST. COPING.
- MASONRY EXPANSION JOINT, MIN. 1" WIDTH WITH FOAM BACKER ROD AND SEALANT. FULL HEIGHT OF WALL; MATCH EXPANSION JOINT COLOR TO THE MORTAR COLOR. REFER TO 4A3.2.
- MASONRY CONTROL JOINT, PROVIDE JOINT AT 48" FROM CORNER WHEN WALL LENGTH IS GREATER THAN 12'-0"; SEE 5/A31.
- NEW STUCCO OVER METAL LATHE TO MATCH EXISTING, REFER TO EXTERIOR FINISH SCHEDULE.
- FIELD STONE VENEER STN-2, SEE STONE SPECIFICATIONS FOR MANUFACTURER AND COLOR, G.C. TO VERIFY "MATCH" PRIOR TO ORDERING.
- STONE MAINSOT SILL, STN-2, HEIGHT AND OFFSETS TO MATCH EXISTING.
- NEW STUCCO BAND TO MATCH EXISTING.
- CONTINUOUS COATED STUCCO FOAM CORNICE, HEIGHTS AND OFFSETS TO MATCH EXISTING.

50 EXTERIOR FINISH SCHEDULE:

| | | | |
|---------------|--|----------------|---|
| STN-1: | EXISTING STONE VENEER TO REMAIN | LMDF: | HOLLOW METAL DOOR & FRAME BY ZIGMAN PRODUCTS COMPANY, DARK BRONZE |
| STN-2: | FIELD STONE #2 ELDORADO STONE VENEER G.C. TO VERIFY & MATCH EXISTING COLOR. STACKED STONE "CASTAWAY" G.C. TO VERIFY "MATCH" PRIOR TO ORDERING. | AW-2: | NEW FABRIC AWNING, SUNBRELLA FABRIC (4684-000, SLATE) |
| SC-1: | PAINT EXISTING STUCCO FINISH PT-23B | A-1: | ALUMINUM AWNING - COVERED, COLOR BLACK, SIZE V.I.F. |
| SC-2: | PAINT STUCCO FINISH TO MATCH SC-1 - G.C. TO VERIFY "MATCH" PRIOR TO ORDERING, SUBMIT TO OWNERS REP. FOR APPROVAL. | PT-2: | SHERWIN WILLIAMS, PRO INDUSTRIAL MULT-SURFACE ACRYLIC COATING, SW6258 "TRICORN BLACK", USED WITH SW PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER |
| LHT-1: | NEW EXTERIOR WALL SCONCE, FIXTURE "OL" | PT-23B: | SHERWIN WILLIAMS, PRO INDUSTRIAL MULT-SURFACE ACRYLIC COATING, SW103 "LATTE", USED WITH SW LUXON CONDITIONER UNIVERSAL PRIMER |
| LHT-2: | NEW EXTERIOR WALL SCONCE, FIXTURE "OA" | PT-9: | EXTERIOR PAINT MISCELLANEOUS METALS, SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350 COLOR: DARK BRONZE, SEMI-GLOSS FINISH |
| LHT-3: | EXISTING WALL PACK TO BE RELOCATED, FIXTURE "OK" | PT-7: | EXTERIOR PAINT REFUGE ENCLOSURE, SHERWIN WILLIAMS - #SW2807 "ROCKWOOD (MEDIUM BROWN)" SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS |
| LHT-4: | NEW EXTERIOR WALL WASHER, FIXTURE "OJ" | ST-1: | EXISTING STOREFRONT TO REMAIN. REPLACE PUSH-PULL HARDWARE WITH CLEAR, ANODIZED HARDWARE ON STOREFRONT DOORS. |
| SGN-1: | EXISTING WALL SIGN TO REMAIN | | |
| EC-1: | PARAPET METAL, WALL COPING, COLOR DARK BRONZE (MATTE) | | |

REPAINT SPECIFICATION: PREFINISHED METALS- AIRBRUSH

- WASH SURFACE THOROUGHLY USING PROCLEAN PREP WASH; CONCENTRATED CLEANER OR OTHER EMULSIFYING DETERGENT CLEANER. RINSE THOROUGHLY AND ALLOW TO DRY. DO NOT USE A SOLVENT BASED CLEANER SUCH AS MINERAL SPIRITS. SANDING IS NOT NECESSARY EXCEPT IN AREAS WHERE THE EXISTING FILM IS CHECKED OR PEELING.
- BOTH THE SPECIFIED PRIMER AND TOPCOAT ADHERE VERY TIGHTLY TO ANY SUBSTRATE WHEN DRY. MASK ALL AREAS NOT TO BE PAINTING THOROUGHLY TO PREVENT OVER SPRAY.
- APPLY DTM BONDING PRIMER B66A50 USING AN AIRLESS SPRAYER WITH 2400 PSI FLUID PRESSURE AND A .017" TO .019" TIP - SEE ATTACHED DATA PAGE FOR FURTHER INFORMATION. APPLY TO A THICKNESS OF 7 MILS WET, 3 MILS DRY. ALLOW 4 TO 8 HOURS DRYING TIME, DEPENDING ON OUTSIDE AMBIENT TEMPERATURE, BEFORE RE-COATING - COORDINATE DETAILS ON SPRAY SET-UP, DRYING TIME, ETC., WITH PAINT MANUFACTURER.
- APPLY TWO COATS OF SHER-CRYL LPA HIGH PERFORMANCE ACRYLIC IN COLOR SPECIFIED USING AN AIRLESS SPRAYER WITH 1500 PSI FLUID PRESSURE AND A .017" TO .019" TIP. APPLY TO A THICKNESS OF 7 MILS WET, 3 MILS DRY PER COAT. ALLOW 4 TO 8 HOURS DRYING TIME, DEPENDING ON OUTSIDE AMBIENT TEMPERATURE, BEFORE RECOATING - COORDINATE DETAILS ON SPRAY SET-UP, DRYING TIME, ETC., WITH PAINT MANUFACTURER.
- APPLY ONE COAT OF SHER-CLEAR ONE COMPONENT ACRYLIC CLEAR COAT GLOSS B66C375 USING AN AIRLESS SPRAYER WITH 1500 PSI FLUID PRESSURE AND A .013" TO .015" TIP. APPLY TO A THICKNESS OF 4 MILS WET, 1.5 MILS DRY - COORDINATE DETAILS ON SPRAY SET-UP, DRYING TIME, ETC., WITH PAINT MANUFACTURER.

NOTE: THIS SYSTEM SHOULD BE APPLIED BY AN APPLICATOR EXPERIENCED IN USING HIGH PERFORMANCE SOPHISTICATED COATINGS. YOUR SHERWIN-WILLIAMS REPRESENTATIVE CAN ASSIST WITH CONTACTING QUALIFIED CONTRACTORS.

REPAINT SPECIFICATION: PREFINISHED METALS- BRUSH AND ROLLER

- WASH SURFACE THOROUGHLY USING TYP SUBSTITUTE OR OTHER DETERGENT CLEANER. RINSE THOROUGHLY AND ALLOW TO DRY. DO NOT USE A SOLVENT BASED CLEANER SUCH AS MINERAL SPIRITS. SANDING IS NOT NECESSARY EXCEPT IN AREAS WHERE THE EXISTING FILM IS CHECKED OR PEELING.
- ANY BARE AREAS ON FERROUS METAL BOXES MUST BE SPOT PRIMED WITH KEM KROMIK UNIVERSAL METAL PRIMER B5ONZ.
- THE SPECIFIED PRIMER ADHERES VERY TIGHTLY TO ANY SUBSTRATE WHEN DRY. MASK ALL AREAS NOT TO BE PAINTING THOROUGHLY.
- APPLY DTM BONDING PRIMER B66A50 BY BRUSH, ROLLER OR SPRAY TO A THICKNESS OF 5 MILS WET, 2 MILS DRY. ALLOW TO DRY FOR 4 HOURS BEFORE RECOATING.
- APPLY TWO COATS OF SHER-CRYL HIGH PERFORMANCE ACRYLIC GLOSS ENAMEL B66 SERIES IN SPECIFIED COLOR BY BRUSH, ROLLER OR SPRAY TO A THICKNESS OF 6 MILS WET, 2.5 MILS DRY.

REPAINT SPECIFICATION: STUCCO

- WASH SURFACE THOROUGHLY USING TYP SUBSTITUTE OR OTHER DETERGENT CLEANER. RINSE THOROUGHLY AND ALLOW TO DRY. DO NOT USE A SOLVENT BASED CLEANER SUCH AS MINERAL SPIRITS. SANDING IS NOT NECESSARY EXCEPT IN AREAS WHERE THE EXISTING FILM IS CHECKED OR PEELING.
- MASK ALL AREAS NOT TO BE PAINTING THOROUGHLY.
- APPLY TWO COATS OF EXTERIOR FLAT LATEX PAINT IN SPECIFIED COLOR BY BRUSH, ROLLER, OR SPRAY:
 - 1ST COAT: S-W A-100 EXTERIOR LATEX FLAT, A6 SERIES, 4 MILS WET, 1.4 MILS DRY
 - 2ND COAT: S-W A-100 EXTERIOR LATEX FLAT, A6 SERIES, 4 MILS WET, 1.4 MILS DRY

30 BRICK SPECIFICATIONS

NOTES:

- COVER EXISTING BRICK TO REMAIN WHERE POSSIBLE TO MINIMIZE NECESSITY OF CLEANING.
- BRICK SPECIFICATIONS LISTED BELOW ARE TAKEN FROM ORIGINAL DOCUMENTATION, G.C. TO FIELD VERIFY ALL BRICK COLORS PRIOR TO ORDERING.
- REFER TO DETAIL 7/A3.2 FOR DRAINAGE AT BASE OF STUCCO SYSTEM FOR NEW AND EXISTING WALLS, REFER ALSO TO A31 FOR REPLACEMENT OF STUCCO AT SOLDIER COURSE TRANSITION ON EXISTING WALLS.

BRICK/EIFS SPECIFICATIONS:

- BRICK #1: REFER TO EXTERIOR FINISH SCHEDULE
- EIFS #1: DRYVIT SYSTEMS, INC.; QUARTZPUTZ DFR. FINISH, REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR AT LOCATIONS INDICATED

ON NEW CONSTRUCTION MINIMIZE CLEANING BY:

- KEEPING BRICK COVERED WITH PLASTIC.
- KEEPING MORTAR TROWELING AND DROPPINGS OFF BRICK.
- SPREADING STRAW AROUND THE FOUNDATION TO KEEP THE DIRT OFF THE WALL.
- CLEANING BRICK AS YOU GO, ESPECIALLY THE HEAVY DEPOSITS OF DIRT AND MORTAR.

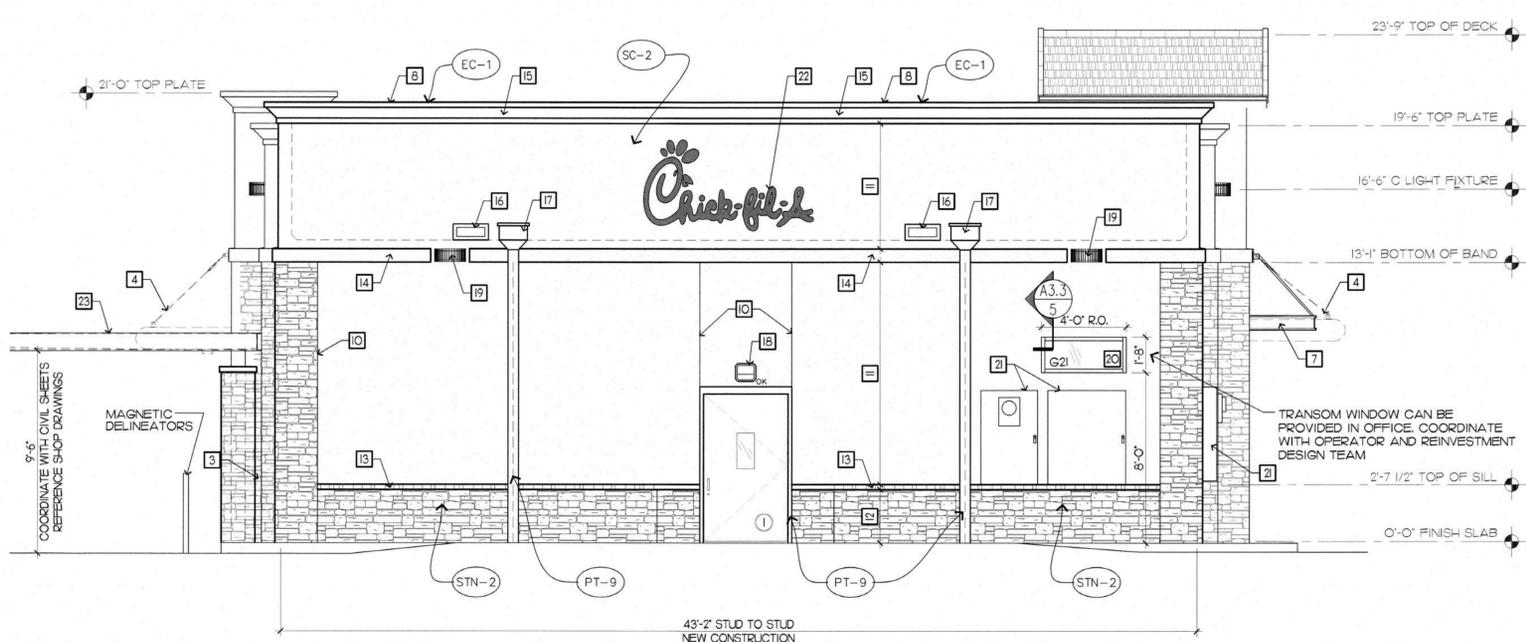
PROCESSES:

- REMOVE LARGE PARTICLES FROM THE WALL WITH A HAND TOOL.
- THOROUGHLY PRE-WET THE AREA WITH PLENTY OF WATER.
- MAKE SURE THE AREA BELOW THE SECTION TO BE CLEANED IS ALSO THOROUGHLY WET.
- THE WALL MUST REMAIN WET AT ALL TIMES THROUGHOUT THE CLEANING PROCESS.
- IF A TEST PANEL CANNOT BE USED A SMALL AREA SHOULD BE TESTED PRIOR TO CLEANING.
- APPLY THE CLEANER ACCORDING TO THE MANUFACTURERS STANDARD AND CURRENT INSTRUCTIONS.
- RINSE THOROUGHLY WITH WATER.

RECOMMENDED CLEANERS:

- CLOROX, TYLEX OR VANISH TO REMOVE MILDEW.
- 800 STAIN REMOVER FOR VANADIUM STAIN*
- VANA TROL FOR GENERAL CLEANING.
- ENVIROKLEAN MPC FOR MUD AND OIL STAINS.*

* FOLLOW MANUFACTURER'S CURRENT AND STANDARD RECOMMENDED PROCEDURES ON THE LABEL.



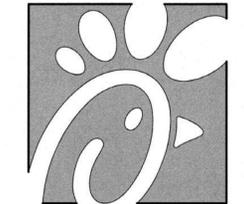
REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: *[Signature]* Date: 8/13/2021
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: *[Signature]* Date: 8/20/2021
Administrator

- NEW EXTERIOR STONE, STUCCO AND PARAPET TO MATCH EXISTING EXTERIOR COLORS. EXTERIOR SITE METALS TO BE PAINTED "TRICORN BLACK" AS SPECIFIED ON ELEVATIONS
- ALUMINUM LOT LIGHT POSTS TO BE PAINTED DARK BRONZE COLOR PT-9) OR AS REQUIRED BY LOCAL JURISDICTION OR LANDLORD REQUIREMENTS.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349

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Atlanta, Georgia 30349

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CHICK-FIL-A
Knightdale
6711 Knightdale Blvd.
Knightdale, NC 27545

FSR#01760

BUILDING TYPE / SIZE: S06C-R
RELEASE: V12.2020

REVISION SCHEDULE

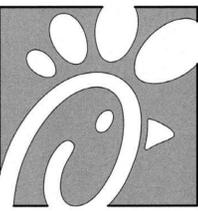
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SHEET
Exterior Elevations

SHEET NUMBER

A2.1



Chick-fil-A

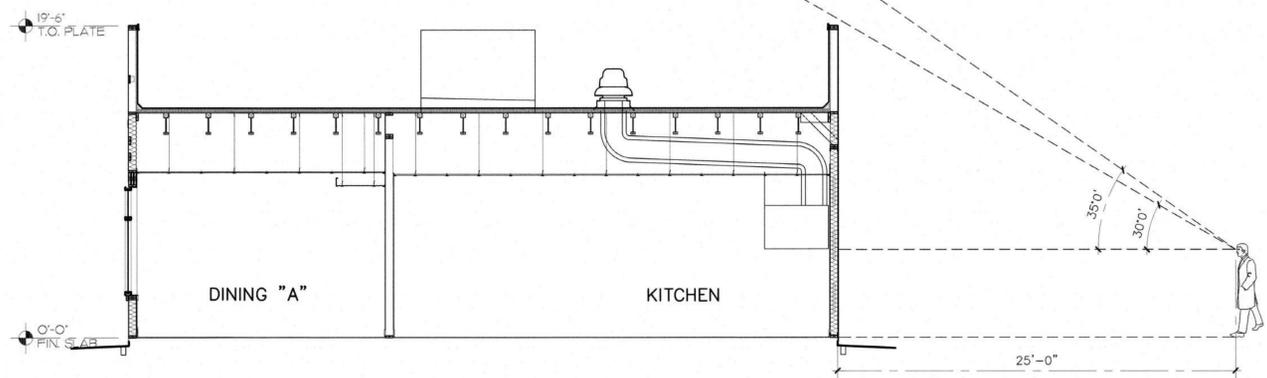
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Atlanta, Georgia 30349



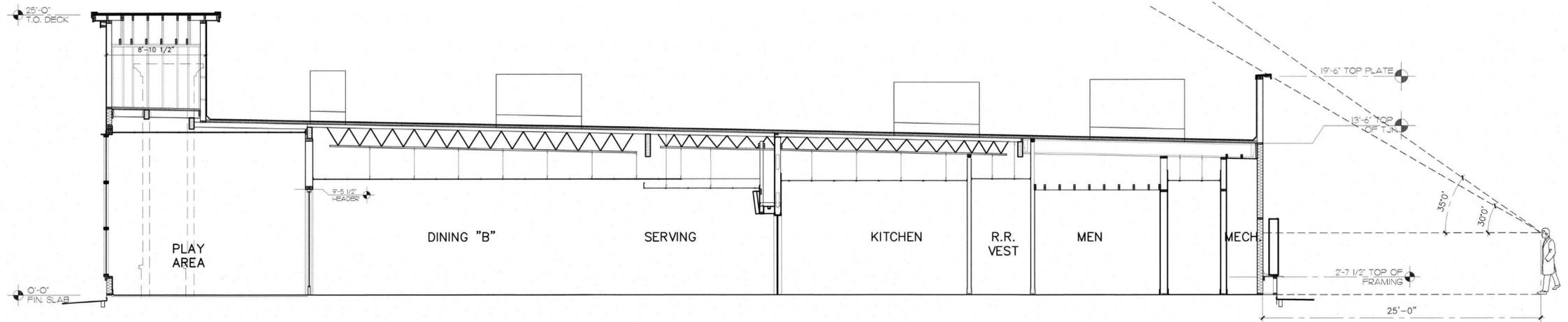
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2 TRANSVERSE SECTION
3/16" = 1'-0"



1 LONGITUDINAL SECTION
3/16" = 1'-0"

CHICK-FIL-A
Knightdale
6711 Knightdale Blvd.
Knightdale, NC 27545

FSR#01760

BUILDING TYPE / SIZE: S06C-R
RELEASE: v12.2020

| REVISION SCHEDULE | | |
|-------------------|------|-------------|
| NO. | DATE | DESCRIPTION |
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| CONSULTANT PROJECT # | 19.414.00 |
| PRINTED FOR | - |
| DATE | 05.06.2021 |
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SHEET

Cross Sections

SHEET NUMBER

SK-1

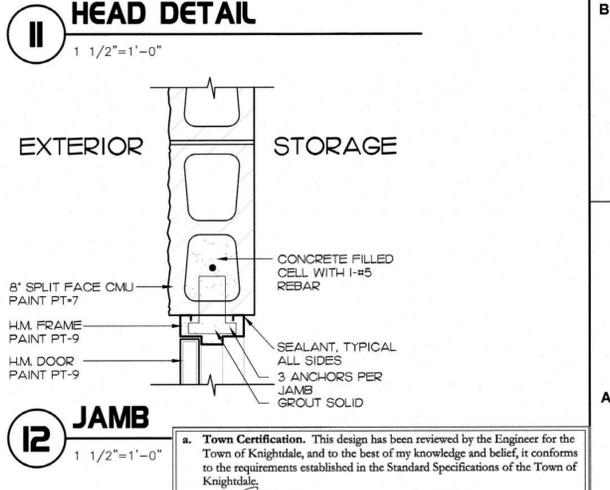
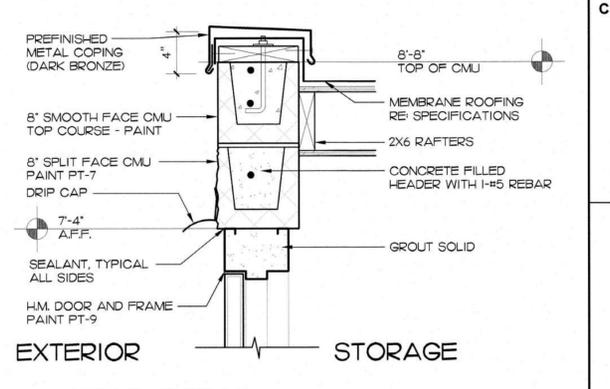
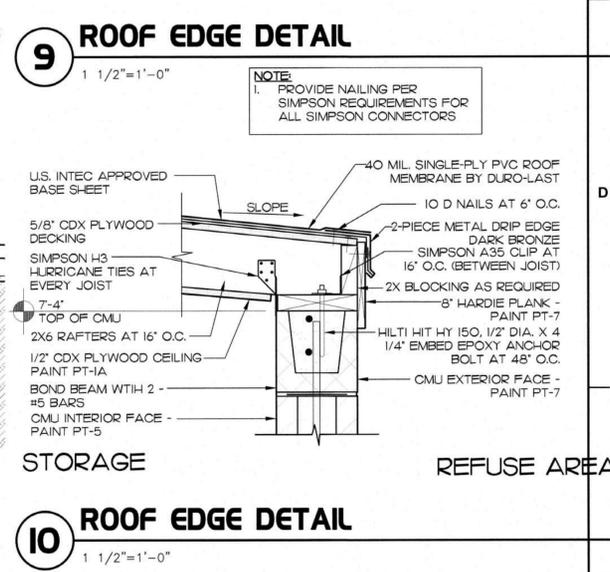
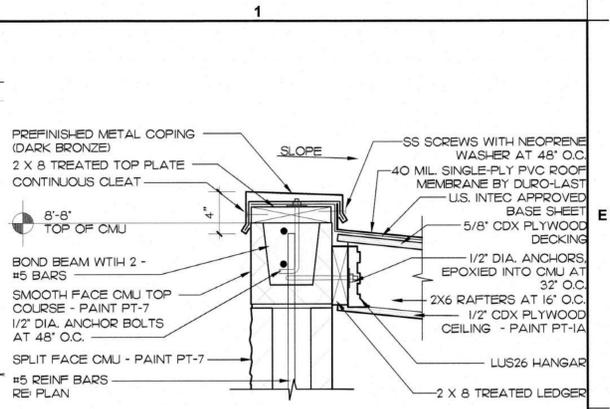
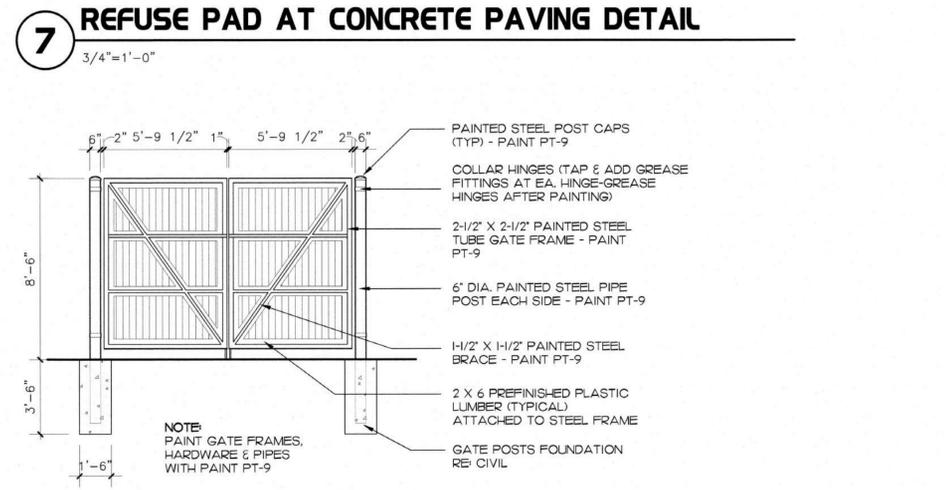
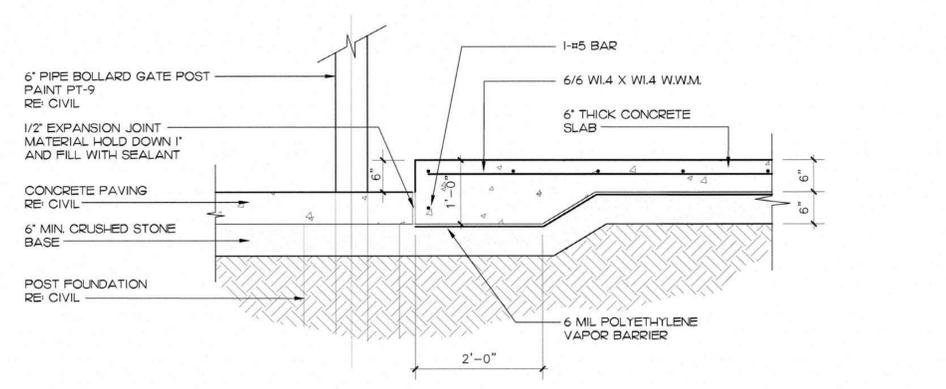
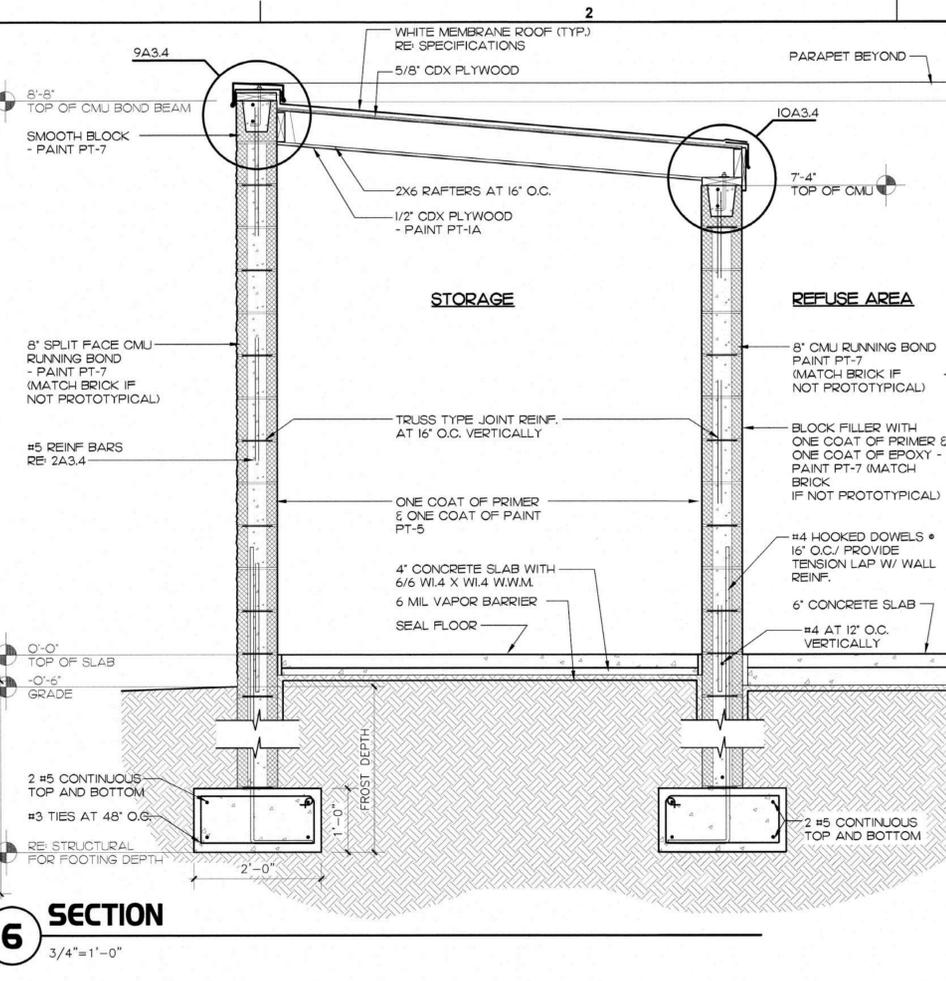
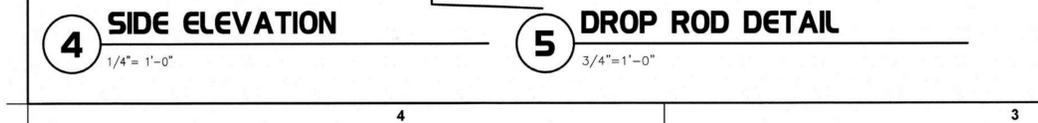
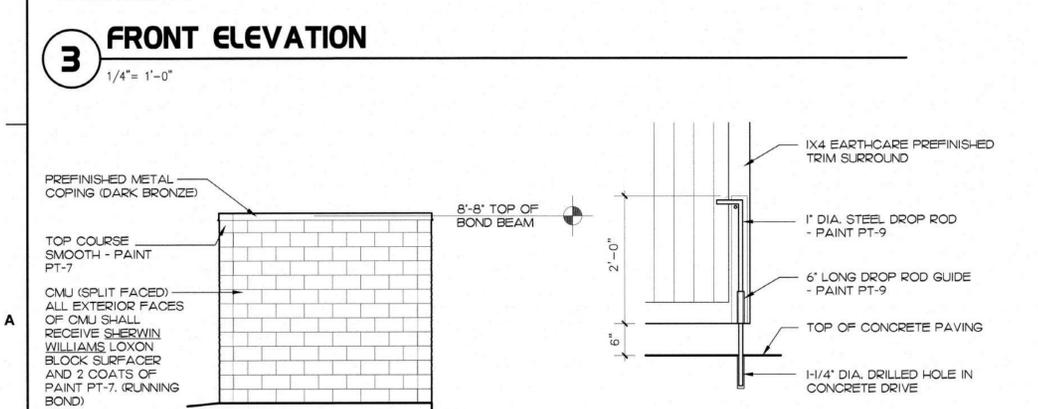
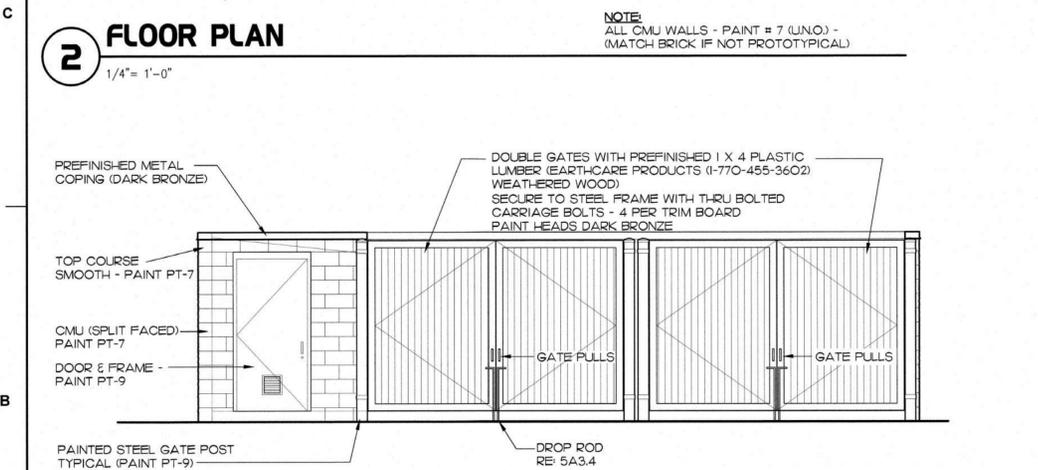
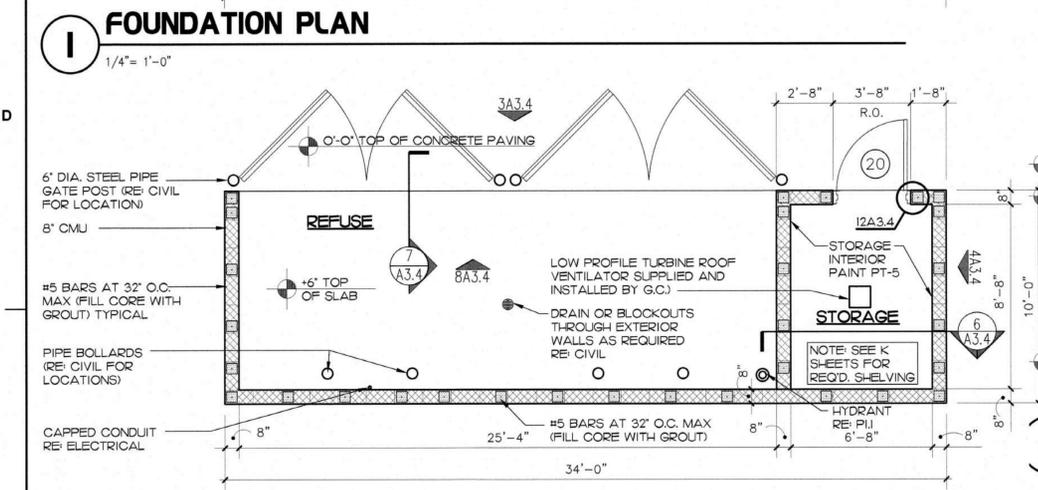
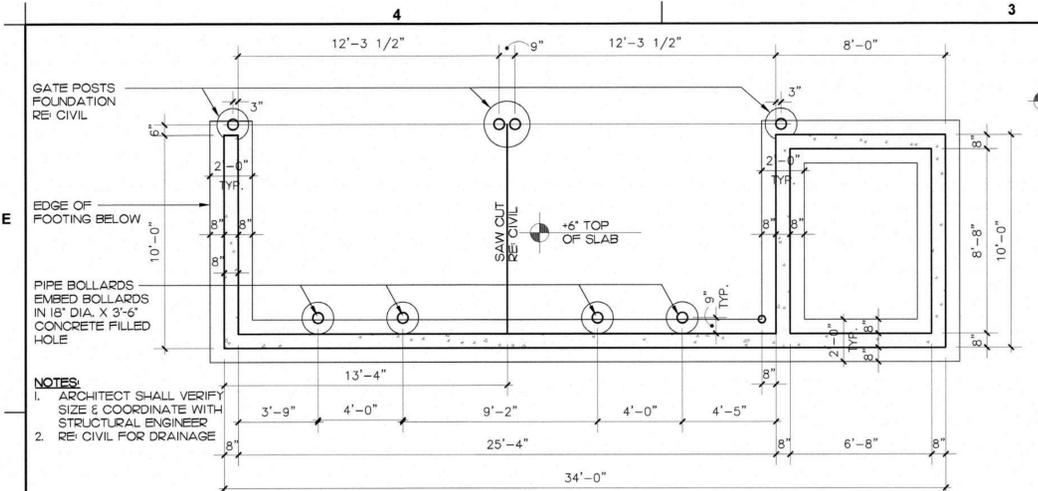
1. Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: [Signature] Date: 8/13/2021
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: [Signature] Date: 8/10/2021
Administrator

\\user\ben\Drawings\My Drive\Benjamin Pennington, LLC, Projects\Chick-fil-A\0_CFA_FSR\2020 Projects\01760 Knightdale\30 Drawings\Consultants\01 Civil\Knightdale Cross Section.dwg, 7/9/2021, 10:26:28 AM, ben

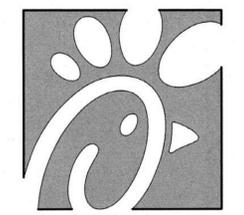


Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: S. S. S. S. Date: 8/13/2021
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: A. J. J. J. Date: 8/20/2021
Administrator



Chick-fil-A

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CHICK-FIL-A
Knightdale
6711 Knightdale Blvd.
Knightdale, NC 27545

FSR#01760

BUILDING TYPE / SIZE: S06C-R
RELEASE: v12.2020

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
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CONSULTANT PROJECT # 19.414.00
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SHEET NUMBER

A-01